

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

ZONING BOARD OF APPEALS SPECIAL MEETING ELECTRONIC PUBLIC HEARING NOTICE

April 29, 2021 at 6:00 PM

FURTHER PARTICIPATION INSTRUCTIONS CAN BE FOUND AT WWW.WHITELAKETWP.COM

RESIDENTS MAY CALL IN VIA:

1 312 626 6799 US (Chicago) or

1 888 788 0099 US Toll-free

Meeting ID: 859 2645 3364

1. **Call to Order/Roll Call**
2. **Pledge of Allegiance**
3. **Approval of Agenda**
4. **Approval of Minutes**
5. **Continuing Business**
6. **New Business:**

a. Applicant: Creative Custom Builders
7655 Highland Road, Ste 202
Waterford, MI 48327
Location: **4398 Clare Lane**
White Lake, MI 48383 identified as 12-08-251-027
Request: The applicant requests to construct a single-family house, requiring a variance from Article 3.11.J, Minimum Floor Area to construct a house that does not meet the minimum living space requirement.

b. Applicant: Michael Lemon
4400 McKeachie Road
White Lake, MI 48383
Location: **4400 McKeachie Road**
White Lake, MI 48383 identified as 12-08-251-003
Request: The applicant requests to install a residential swimming pool, requiring a variance from Article 5.10, Swimming Pools to install the pool in the front yard.

7. **Other Business**
8. **Next Meeting Date:** May 27, 2021 Regular Meeting
9. **Adjournment**

All interested parties are welcome to attend. Individuals with disabilities requiring auxiliary aids or services should contact the Clerk's Office as least 5 days before the hearing. For more information regarding this public hearing notice, please call the White Lake Township Planning Department at 248-698-3300 ext. 5 or visit www.whitelaketwp.com

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS MEETING – APRIL 29, 2021 @ 6:00 PM

NOTE: THIS MEETING WILL BE HELD ELECTRONICALLY AS AUTHORIZED UNDER THE OPEN MEETINGS ACT, PUBLIC ACT 267 OF 1976, AS AMENDED. MEMBERS OF THE PUBLIC BODY AND MEMBERS OF THE PUBLIC MAY PARTICIPATE ELECTRONICALLY, AS DESCRIBED BELOW.

Reason for allowing participation by electronic means:

To mitigate the spread of COVID-19, protect the public health, and provide essential protections to vulnerable citizens, in-person contact should be limited. Critical mitigation measures include social distancing and limiting the number of people interacting at public gatherings. This includes public meetings.

Members of the public may access the agenda materials via the Township website – www.whitelaketwp.com by end of day, **Thursday, April 22, 2021**, but possibly sooner. **Members of the public wishing to participate in the electronic meeting may do so by:**

Dialing the phone number below and enter the meeting ID and password when prompted.

Telephone Access: 1 312 626 6799 US (Chicago) or **US Toll-free:** 1 888 788 0099

Meeting ID: 859 2645 3364

Where to watch the meeting:

The meeting will be available to view live on our YouTube Channel which can be easily reached from the live meeting link located on the White Lake Township website home page www.whitelaketwp.com or by visiting: https://www.youtube.com/channel/UCYPorjfGrhCNd368R_Cyg_w/featured. Closed captioning will be available after YouTube fully renders meeting video.

Procedure for public participation by electronic means:

In order for the Township to allow electronic participation in the meeting, there must be full opportunity for both the general public and the members of the public body to both hear and be heard at appropriate times during the meeting. Public participants will be muted upon entry to the meeting, but will have a chance to speak during public comment or at public hearings if one is involved.

Once connected to the meeting, members of the public wishing to participate in the virtual public comment or public hearings must alert us that they wish to speak by pressing *9 on their telephone keypad. Pressing *9 will activate the “raise hand” feature signaling to us that you wish to comment. Because of limitations with muting and unmuting members of the public, there will only be one public comment period which will be announced by the meeting moderator at the appropriate time. Participants who have “**raised their hand**” to speak during public comment or public hearings will be called on one at a time, as would happen during an in-person meeting. When you are unmuted, please introduce yourself by stating your name and address for the record. You will then have (3) minutes to share your comments with the Township board. At the conclusion of your comments or your (3) minutes, you will be muted and removed from the public comment queue.

Participants may also choose to submit written comments that will be read into record during public comment by the Chairperson of the ZBA. Submit any written comments via e-mail to Hmicallef@whitelaketwp.com by **Noon, April 28, 2021**, the day before the meeting.

Procedures for accommodations for persons with disabilities:

The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk’s office at (248) 698-3300 x7**

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: April 29, 2021

Agenda item: 6a

Appeal Date: April 29, 2021

Applicant: Creative Custom Builders

Address: 7655 Highland Road, Ste 202
Waterford, MI 48327

Zoning: SF Suburban Farms

Location: 4398 Clare Lane
White Lake, MI 48383

Property Description

The 2.011-acre parcel identified as 4398 Clare Lane is located on the east side of Clare Lane, south of Brendel Road, and zoned SF (Suburban Farms).

Applicant's Proposal

Creative Custom Builders, the applicant, is proposing to construct a house with floor area less than the minimum living space requirement.

Planner's Report

Article 3, Section 11.J.iii of the zoning ordinance states the minimum floor area for a two-story single-family house is 1,500 square feet, with 900 square feet minimum on the ground floor. The proposed house is 705 square feet on the first floor, 487 square feet on the second floor, with total floor area of 1,192 square feet. A variance of 195 square feet is requested for the ground floor area, and a variance of 308 square feet is requested for the overall floor area.

The applicant stated in their application a wrap-around porch would make the house appear larger and have a larger footprint than the minimum living space requirement. The zoning ordinance specifically states the minimum floor area per dwelling unit shall not include area of basements, open unheated breezeways, open unheated porches (including decks), attached garages or utility rooms. Additionally, the applicant mentioned purchasing house plans and development costs in their application as reasons to support the request. The zoning ordinance prohibits the Zoning Board of Appeals from considering economic hardship or financial issues when deciding a variance request.

The subject site is two (2) acres in size. Constructing a house below the minimum floor area requirement is essentially, for all intents and purposes, creating a tiny house on a parcel which will be surrounded by homes averaging 2,000-3,000 square feet in size. The house plans provided by the applicant are titled "Cottage Design." Cabins/cottages typically do not exceed 700 square feet in total area, so it may have been evident the proposed plans do not meet the Township's minimum floor area requirement. The applicant will need to demonstrate a practical difficulty exists on the subject site, and unique circumstances exist that are peculiar to the land which are not applicable to other land in same zoning district or the vicinity.

The requested variances are listed in the following table.

| Variance # | Ordinance Section | Subject | Standard | Requested Variance | Result |
|-------------------|--------------------------|--------------------|--|---|---|
| 1 | Article 3.11.J | Minimum floor area | 1,500 square feet, with 900 square feet min. on ground floor | 195 square feet ground floor, 308 square feet overall | 705 square feet ground floor, 1,192 square feet overall |

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Creative Custom Builders from Article 3.11.J of the Zoning Ordinance for Parcel Number 12-08-251-027, identified as 4398 Clare Lane, in order to construct a single-family house with 705 square feet on the first floor and total floor area of 1,192 square feet. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.

Denial: I move to deny the variances requested by Creative Custom Builders for Parcel Number 12-08-251-027, identified as 4398 Clare Lane, due to the following reason(s):

Table: I move to table the variance requests of Creative Custom Builders for Parcel Number 12-08-251-027, identified as 4398 Clare Lane, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated January 27, 2021.
2. Plot plan dated March 29, 2021.
3. Cottage plans Feb. 2011.
4. Photos provided by the applicant.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.

B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

C. Not self created: The applicants problem is not self created.

D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).

E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.

F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:

i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;

ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

Two copies

OFF. COPY
to sub.
1.27.2021

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

- Resub. Same Day
Address/Parcel ID
RECEIVED. 3.31.21

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: CREATIVE CUSTOM BUILDERS PHONE: 248-599-318310
JIM VEILLEUX - AGENT 248-931-0565(C)

ADDRESS: 7655 HIGHLAND RD STE 202 WATERFORD MI 48327

APPLICANT'S EMAIL ADDRESS: Jim.eccbmich.com cc: Robert.eccbmich.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: SUBURBAN FARMS
4398 LAUREL LANE * PARCEL # 12-08-251-027
TBD ↳ LOT F5

CURRENT ZONING: _____ PARCEL SIZE: 2.009 ACRES

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: REQUESTING APPROVAL
FOR NEW SINGLE FAMILY CONSTRUCTION AT 705 SF 1ST FLR + TOTAL 1192 SF

VALUE OF IMPROVEMENT: \$ 230,000 SEV OF EXISTING STRUCTURE: \$ N/A
NEW DEVELOPMENT

"PRACTICAL DIFFICULTY"

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

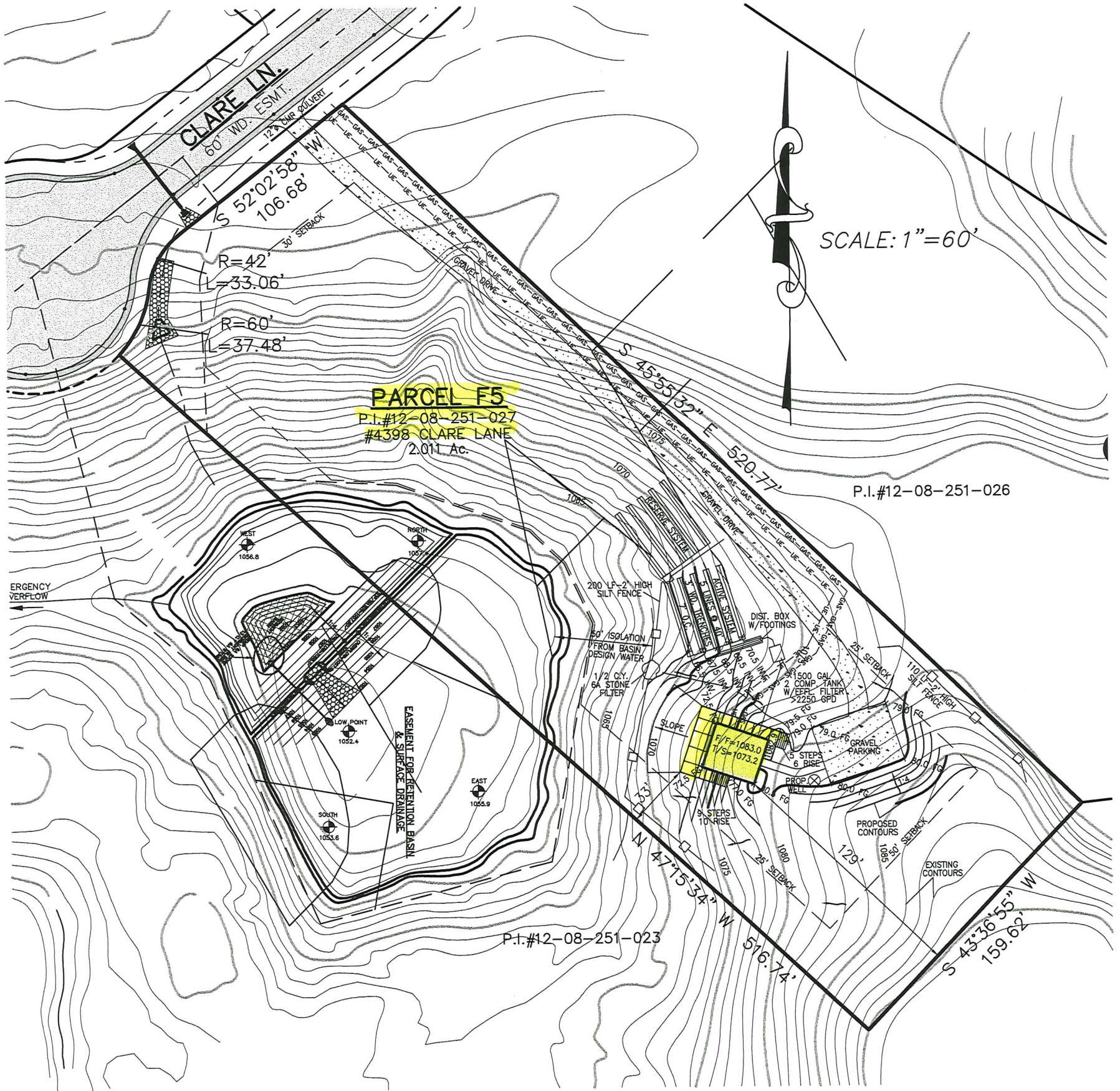
THE VARIANCE REQUEST IS TO APPROVE A SLIGHTLY AND UNNOTICEABLE REDUCTION IN SQUARE FOOTAGE. THE OWNER HAS PURCHASED THE LOT ALREADY NOT KNOWING OF THE MINIMUM SF AND PURCHASING EXPENSIVE HOUSE PLANS (PRIOR TO BUILDER INVOLVEMENT). THE MINOR DIFFERENCE OF ACTUAL HOUSE SF WILL NOT CAUSE ANY HARDSHIP TO ANY CURRENT OR FUTURE RESIDENCE OR THE TOWNSHIP. THE HOUSE WILL ACTUALLY BE MUCH LARGER APPEARING AS THE HOUSE WILL HAVE A WRAP AROUND DECK (SUPPORTING ROOF SYSTEM) CREATING A MUCH LARGER ACTUAL FOOTPRINT THAN MIN. REQUIREMENTS.

FINALLY, THE OWNER IS UNABLE TO AFFORD A LARGER HOUSE DUE TO EXTREME HIGH COSTS OF CONSTRUCTION.

APPLICATION FEE: ~~\$385.00~~ \$635 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: James M. Keller, agent DATE: 1.27.2021

OVERALL PLOT PLAN OF TAX ID #12-08-251-027 OF PART OF WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN



Legal Description: Parcel F5

Part of the Northeast 1/4 of Section 8, T.3N., R.8E., White Lake Township, Oakland County, Michigan being more particularly described as COMMENCING at the North 1/4 Corner of said Section 8; thence N 89 deg 15 min 26 sec E, along the North line of said Section 8, 2668.25 ft. to the Northeast Corner of said Section 8; thence S 00 deg 59 min 28 sec E 1347.07 ft. to a Property Controlling Corner and the centerline of Brendel Road (66 ft. wide Public right-of-way); thence S 89 deg 38 min 58 sec W, along said centerline of Brendel Road, 559.39 ft.; thence S. 03 deg 07 min 20 sec W. 895.42 ft.; thence S. 05 deg 59 min 54 sec E. 177.79 ft.; thence S 83 deg 52 min 39 sec W. 40.70 ft. to the **POINT OF BEGINNING**; thence S. 43 deg 36 min 55 sec W. 159.62 ft.; thence N. 47 deg 15 min 34 sec W. 516.74 ft. to the 60 ft. radius cul-de-sac right of way of Clare Lane (60 ft. wide private road easement); thence along a right of way curve to the left, radius of 60.00 ft., arc distance of 37.48 ft., central angle of 35 deg 47 min 24 sec, chord bearings N. 24 deg 50 min 44 sec E. 36.87 ft. to a point of reverse curve; thence along a right of way curve to the right, radius of 42.00 ft., arc distance of 33.06 ft., central angle of 45 deg 05 min 57 sec, chord bearing N. 29 deg 30 min 00 sec E 32.21 ft. to a point of tangency; thence N. 52 deg 02 min 58 sec E., along said right of way line, 106.68 ft., thence S. 45 deg 55 min 32 sec E. 520.77 ft. to the **POINT OF BEGINNING**; containing 2.009 acres of land, more or less, benefitted by a 60 ft. wide private easement for ingress, egress and utilities more particularly described hereafter, also subject to the rights of the public, or any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes, also subject to easements and restrictions of record, if any.

SEE DETAILED PLOT PLAN
ON SHEET #2

RECEIVED

MAR 31 2021

BUILDING
DEPARTMENT

DRAFT

SH. 1 of 3

Brad F. Thompson, P.E., P.S.#23828

DATE: 3-29-2021
JOB# 21-4316

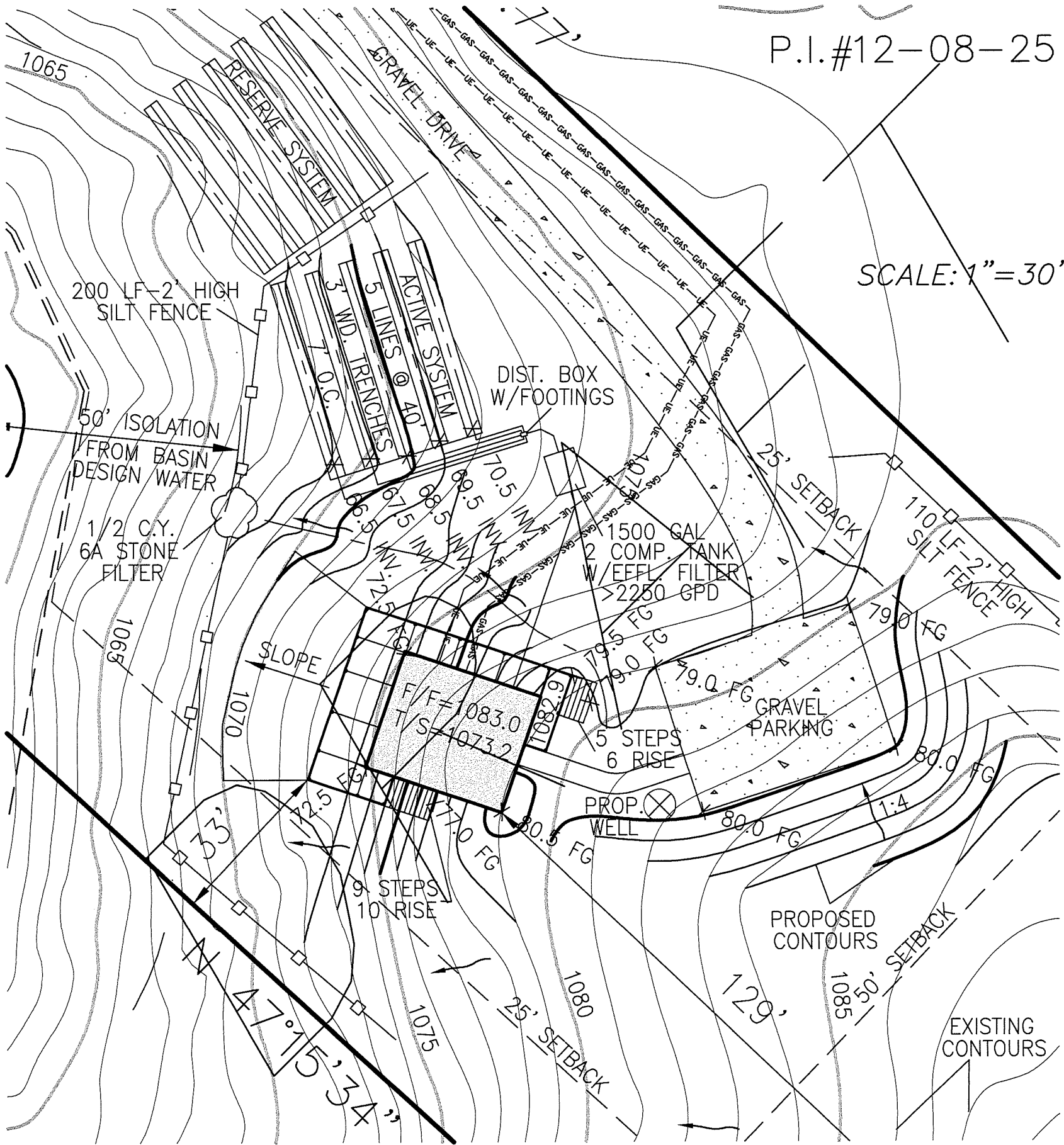
B.F. THOMPSON, P.C.
517/ 548-3142

Registered Professional Engineer & Land Surveyor
1520 Gully Road, Howell, Michigan 48843

**DETAILED PLOT PLAN
OF TAX ID #12-08-251-027
OF PART OF WHITE LAKE TOWNSHIP,
OAKLAND COUNTY, MICHIGAN**

P.I.#12-08-25

SCALE: 1"=30'



DRAFT

SH. 2 of 3

Brad F. Thompson, P.E., P.S.#23828

DATE: 3-29-2021

B.F. THOMPSON, P.C.
517/ 548-3142

Registered Professional Engineer & Land Surveyor
1520 Gulley Road, Howell, Michigan 48843

JOB# 21-4316

Q BRENDEL RD.

66' WD. PUBLIC R/W

S 89°38'58" W 2704.95'

559.39'

639.84'

PARCEL F1

G=2.463 Ac.
N=2.010 Ac.

P.I.#12-08-251-020
#4445 CLARE LANE

PARCEL F8

G=2.471 Ac.
N=2.010 Ac.

P.I.#12-08-251-024
#4448 CLARE LANE

PARCEL F2

2.303 Ac.

P.I.#12-08-251-021
#4419 CLARE LANE

PARCEL F7

2.169 Ac.

P.I.#12-08-251-025
#4428 CLARE LANE

EXCEPTION

TAX ID
#12-08-251-008

PARCEL F3

2.178 Ac.

P.I.#12-08-251-022
#4401 CLARE LANE

CLARE LANE
60' WD. PRIVATE R/W

PARCEL F6

2.010 Ac.

P.I.#12-08-251-026
#4416 CLARE LANE

PARCEL F5 2.011 Ac.
P.I.#12-08-251-027
#4398 CLARE LANE

PARCEL F4

G=48.680 Ac.
N=47.229 Ac.

(REMAINING PARENT PARCEL)

P.I.#12-08-251-023

SUBURBAN
FARMS

TAX ID
#12-08-251-019

WETLAND
AREA

S 05°59'54" E
415.60'

N 89°38'21" E 492.17'

PARCEL A

GROSS=G=2.135 Ac.
NET=N=2.009 Ac.

P.I.#12-08-251-013
#6170 BRENDEL RD.

PARCEL B

G=2.139 Ac.
N=2.010 Ac.

P.I.#12-08-251-014
#6220 BRENDEL RD.

PARCEL C

G=2.139 Ac.
N=2.010 Ac.

P.I.#12-08-251-015
#6270 BRENDEL RD.

PARCEL D

G=2.139 Ac.
N=2.010 Ac.

P.I.#12-08-251-016
#6320 BRENDEL RD.

PARCEL E

G=2.139 Ac.
N=2.010 Ac.

P.I.#12-08-251-017
#6370 BRENDEL RD.

00°12'02" N 548.00'

N 89°38'58" E 852.29'

S 03°07'20" W 895.42'

1429.92'

LOT F5

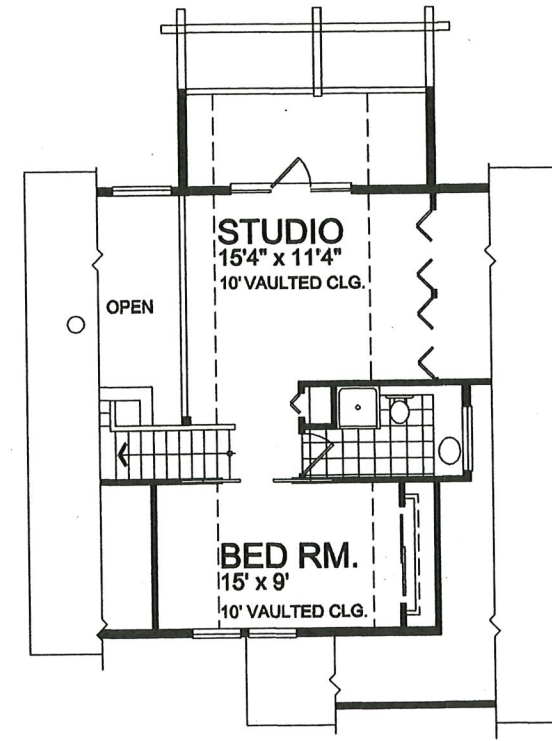
SUBURBAN FARMS

Jim 248-599-3183 (O)
248-931-0565 (C)

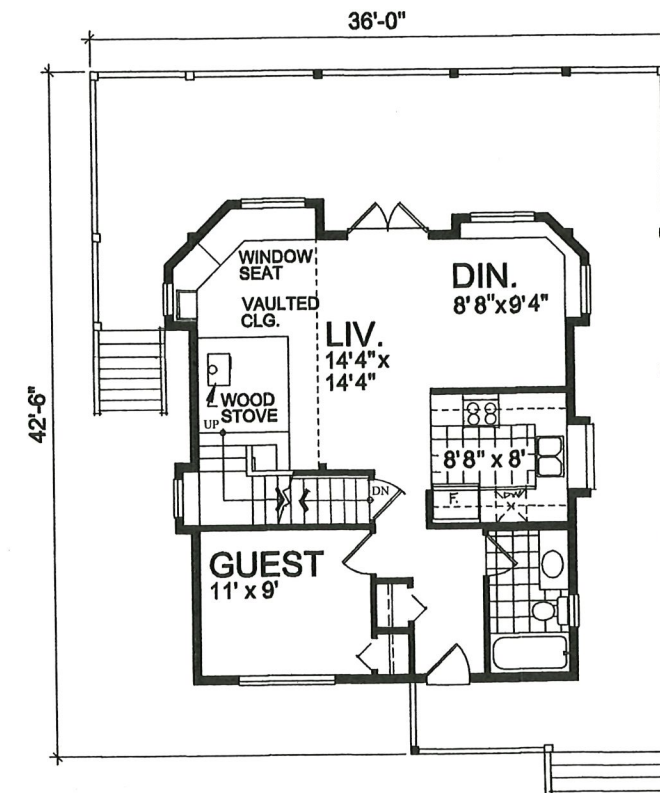


COTTAGE DESIGN 1154

WALK-OUT BASEMENT FOUNDATION



SECOND FLOOR PLAN



FIRST FLOOR PLAN

FIRST FLOOR AREA : 705 SQ. FT.
SECOND FLOOR AREA : 487 SQ. FT.
TOTAL FLOOR AREA : 1192 SQ. FT.
FIRST FLOOR DECK AREA : 591 SQ. FT.
FIRST FLOOR PORCH AREA : 45 SQ. FT.
SECOND FLOOR BALCONY AREA : 96 SQ. FT.

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JAN 27 2021

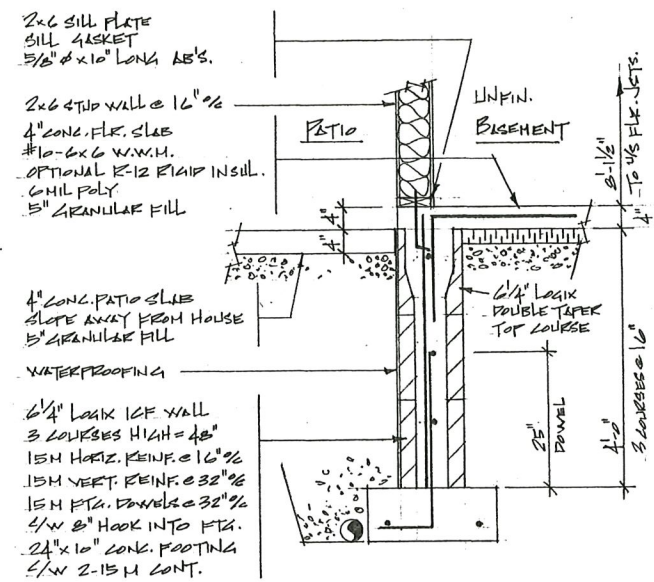
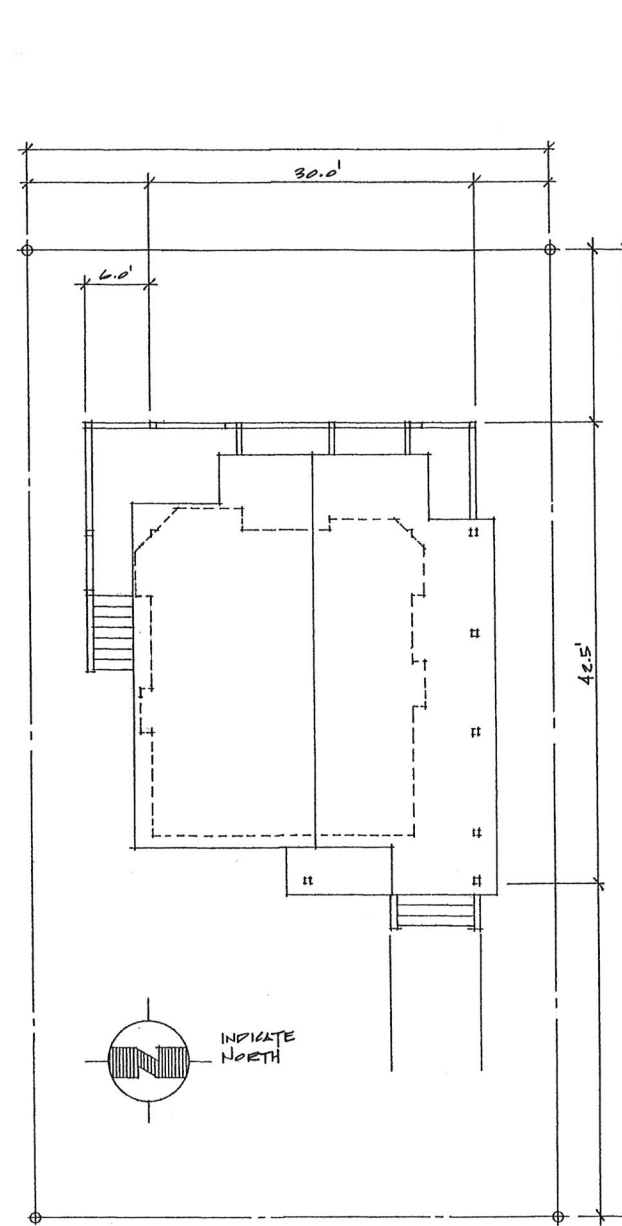
COMMUNITY
DEVELOPMENT
DEPARTMENT

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NOTES
 This plan was designed to comply with the National Building Code of Canada and the International Residential Code for one and two family dwellings of the United States, at the very time they were drawn. Check with your contractor regarding local codes that may vary. The owner and contractor assume the responsibility to comply with local codes.

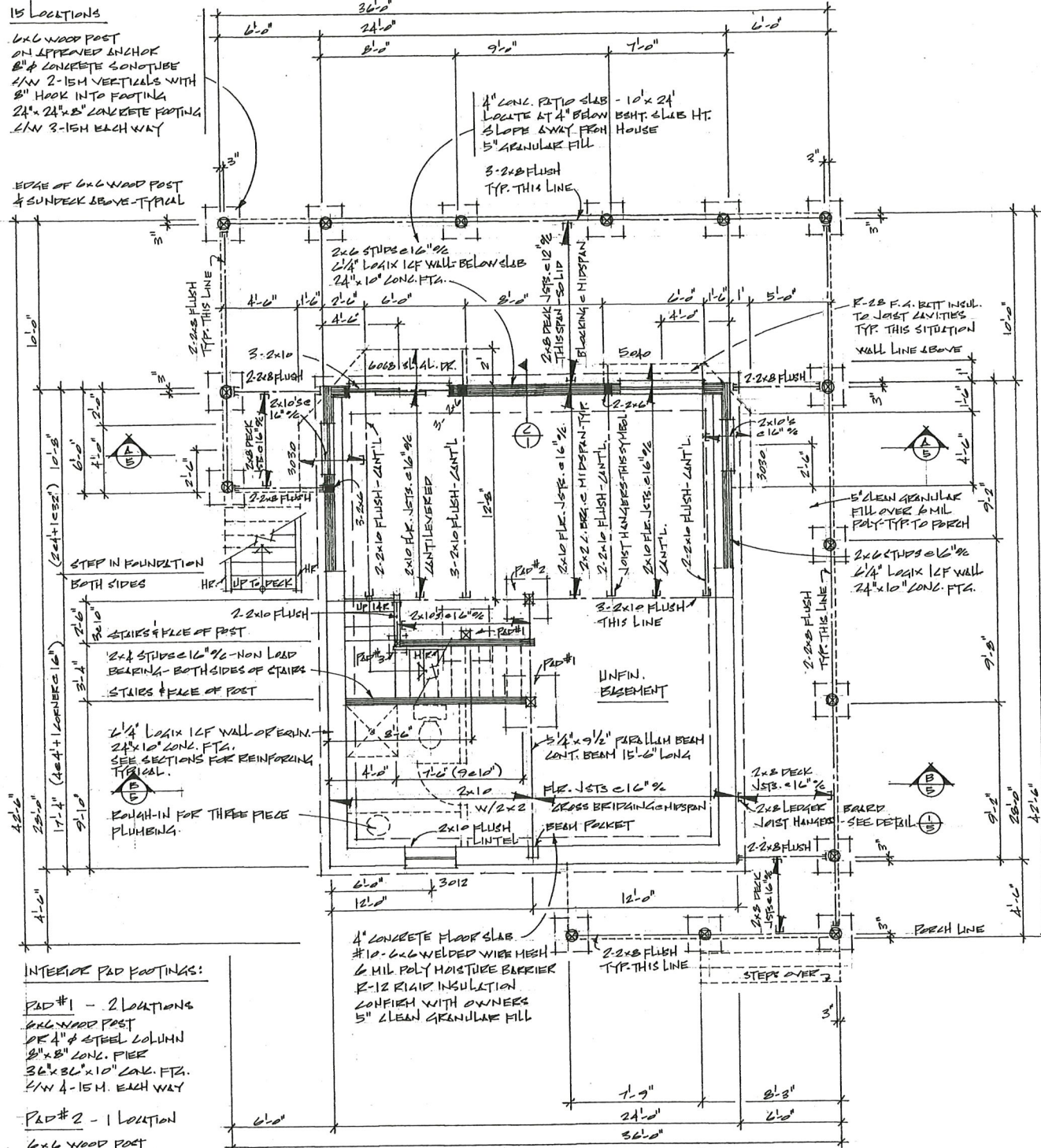
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DESIGN 1154
FOUNDATION / SITE PLAN
 PROPOSED RESIDENCE FOR
 SCALE: 1/4" = 1'-0"
 DATE: FEB 2011
 DESIGNED BY: JRS
 CHECKED BY:
 DRAWN BY:
 REVISIONS:
1 of 6



SECTION C
 NO SCALE

SITE PLAN
 SCALE: 1/8" = 1'-0"
 GROUND SNOW LOAD 40 LBS / SQ. FT (1.9 Kn/m2)
 NOTE:
 BUILDER TO COMPLETE SITE PLAN AND CONFIRM LOCATION OF COTTAGE PRIOR TO THE START OF CONSTRUCTION.
 SEPTIC BY OTHERS:
 PROPOSED SEPTIC TANK AND ASSOCIATED DRAINAGE FIELD TO BE REVIEWED AND APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO THE START OF CONSTRUCTION.
 LEGAL DESCRIPTION:
 LOT:
 SECTION:



INTERIOR PAD FOOTINGS:
 PAD #1 - 2 LOCATIONS
 6x6 WOOD POST OR 4" STEEL COLUMN
 8" x 8" CONC. PIER
 36" x 36" x 10" CONC. FTG.
 4x4-15M EACH WAY
 PAD #2 - 1 LOCATION
 6x6 WOOD POST OR 4" STEEL COLUMN
 8" x 8" CONC. PIER
 36" x 36" x 8" CONC. FTG.
 4x4-15M EACH WAY
 PAD #3 - 1 LOCATION
 4x4 WOOD POST
 6" x 6" CONC. PIER
 12" x 12" x 8" CONC. PIER

BASEMENT FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

* ALL LINTELS TO BE 2-2x10 NO. 2 DFK OR BETTER, UNLESS NOTED OTHERWISE.
 * ALL VERANDAH/SUNDECK FRAMING TO BE OF PRESSURE TREATED MATERIAL WITH ALL CUT ENDS FIELD TREATED.

SHEET INDEX

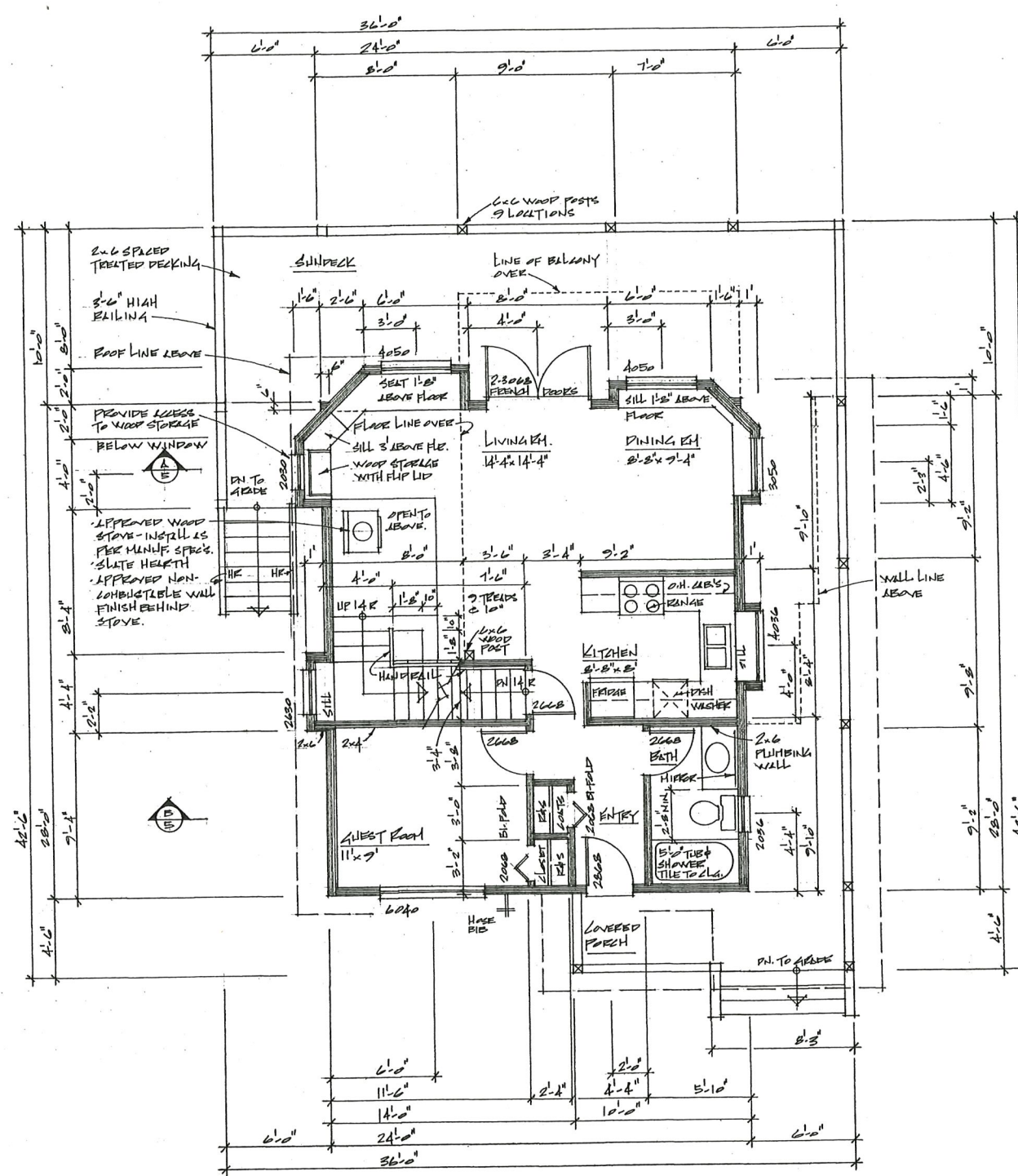
| PAGE | SHEET TITLE |
|------|--------------------------------|
| 0 | COVER SHEET |
| 1 | SITE PLAN & FOUNDATION PLAN |
| 2 | MAIN & UPPER FLOOR PLANS |
| 3 | 2nd FLOOR & ROOF FRAMING PLAN |
| 4 | ELECTRICAL FLOOR PLANS |
| 5 | CROSS SECTIONS & GENERAL NOTES |
| 6 | ELEVATIONS |
| 00 | GENERIC NOTE SHEET |
| 000 | GENERIC DETAIL SHEET |

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 JAN 27 2021
 COMMUNITY DEVELOPMENT DEPARTMENT

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NOTES
 This plan was designed to comply with the National Building Code of Canada and the International Residential Code for one and two family dwellings of the United States, at the very time they were drawn. Check with your contractor regarding local codes that may vary. The owner and contractor assume the responsibility to comply with local codes.

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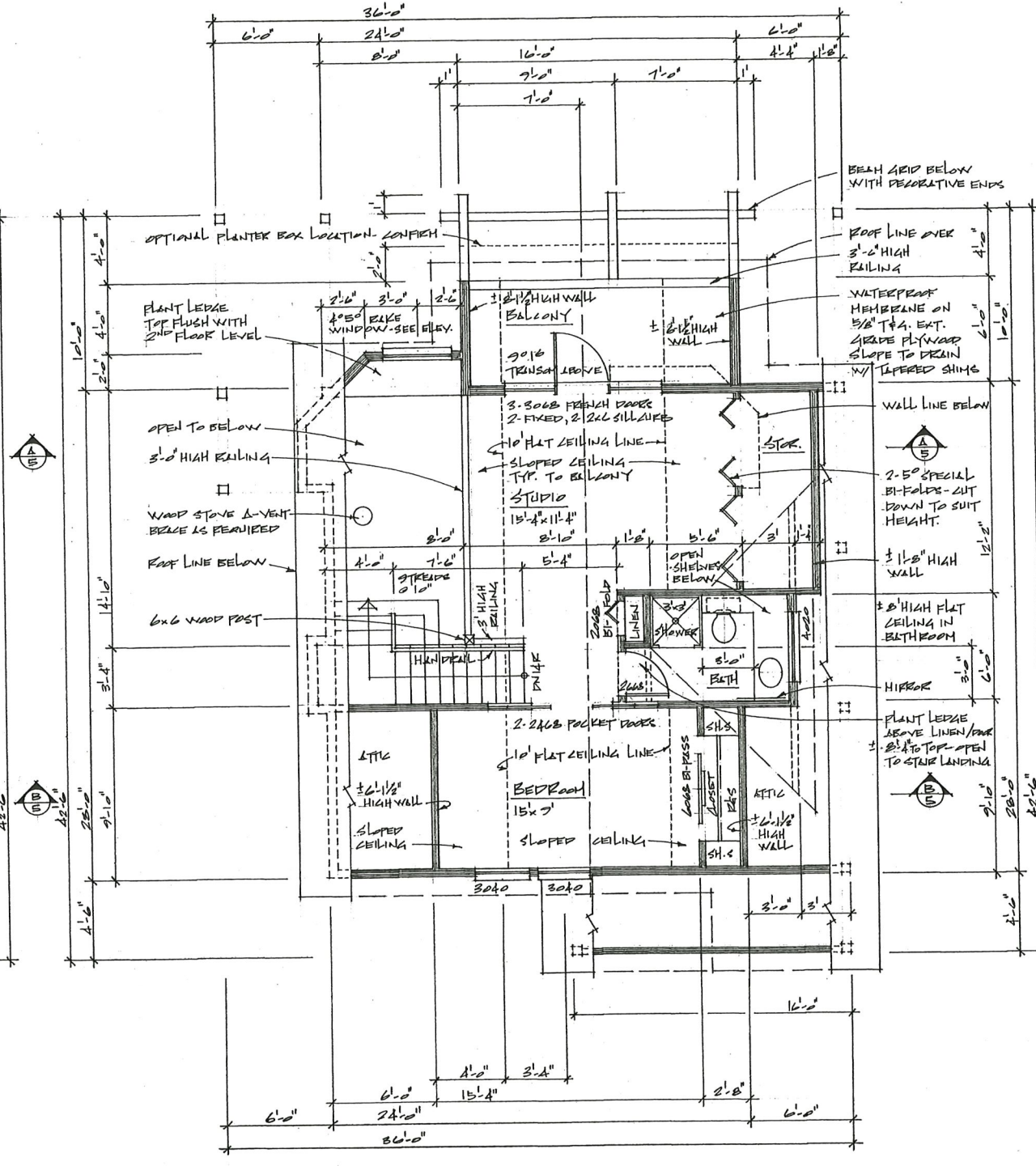


REFER TO SHEET 3 OF 6 FOR FLOOR AND ROOF FRAMING PLANS.
 REFER TO SHEET 4 OF 6 FOR FIRST AND SECOND FLOOR ELECTRICAL LAYOUTS.

FIRST FLOOR PLAN

SCALE 1/4" = 1' - 0"

FIRST FLOOR AREA : 705 SQ. FT.
 TOTAL FLOOR AREA : 1192 SQ. FT.



SECOND FLOOR PLAN

SCALE 1/4" = 1' - 0"

SECOND FLOOR AREA : 487 SQ. FT.

RECEIVED

JAN 27 2021

COMMUNITY DEVELOPMENT DEPARTMENT

DESIGN 1154
 FLOOR PLANS

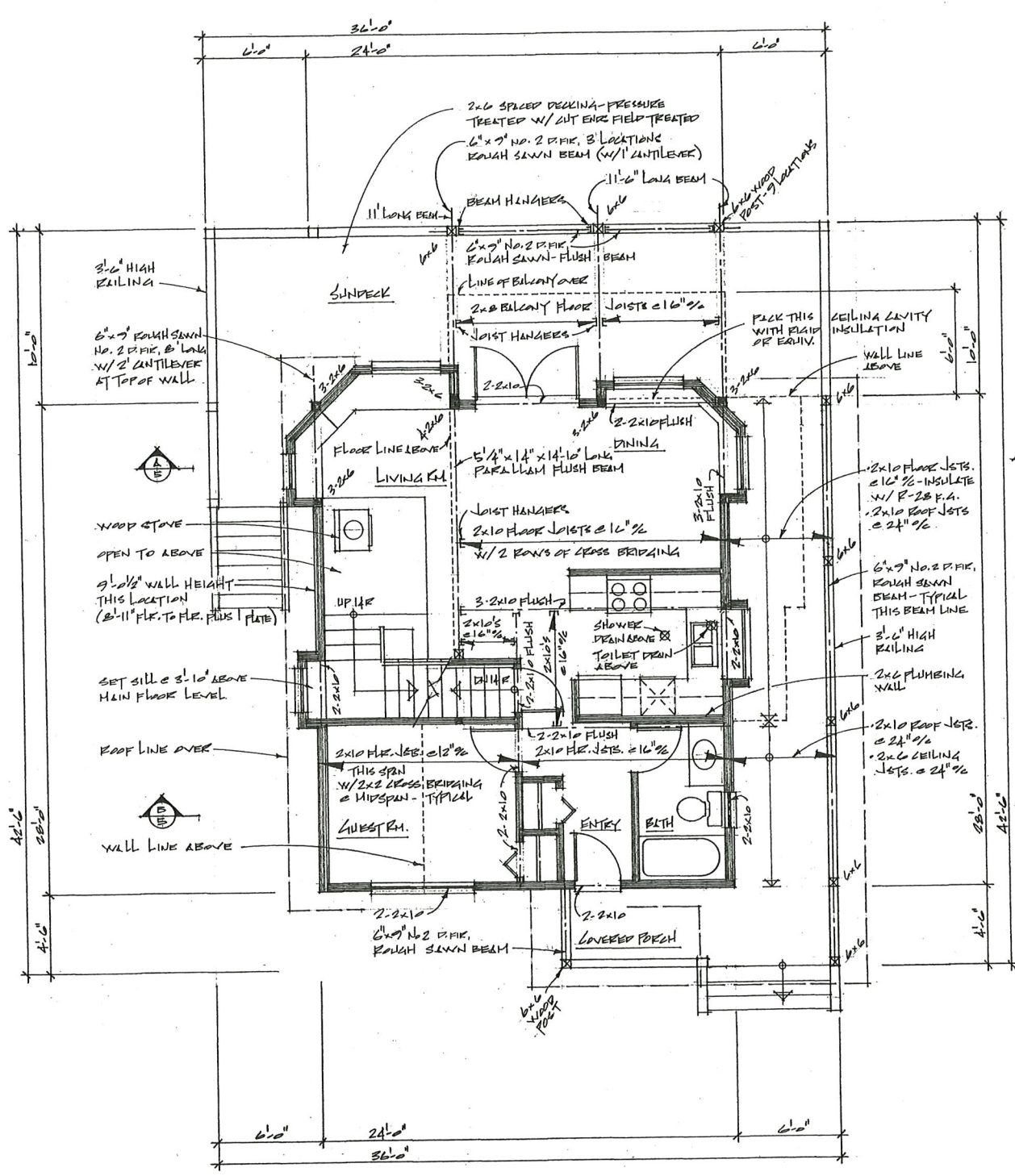
PROPOSED RESIDENCE FOR

DESIGNED BY: JRS
 DRAWN BY:
 SCALE: 1/4" = 1'-0"
 DATE: FEB 2011
 REVISIONS:

2 of 6

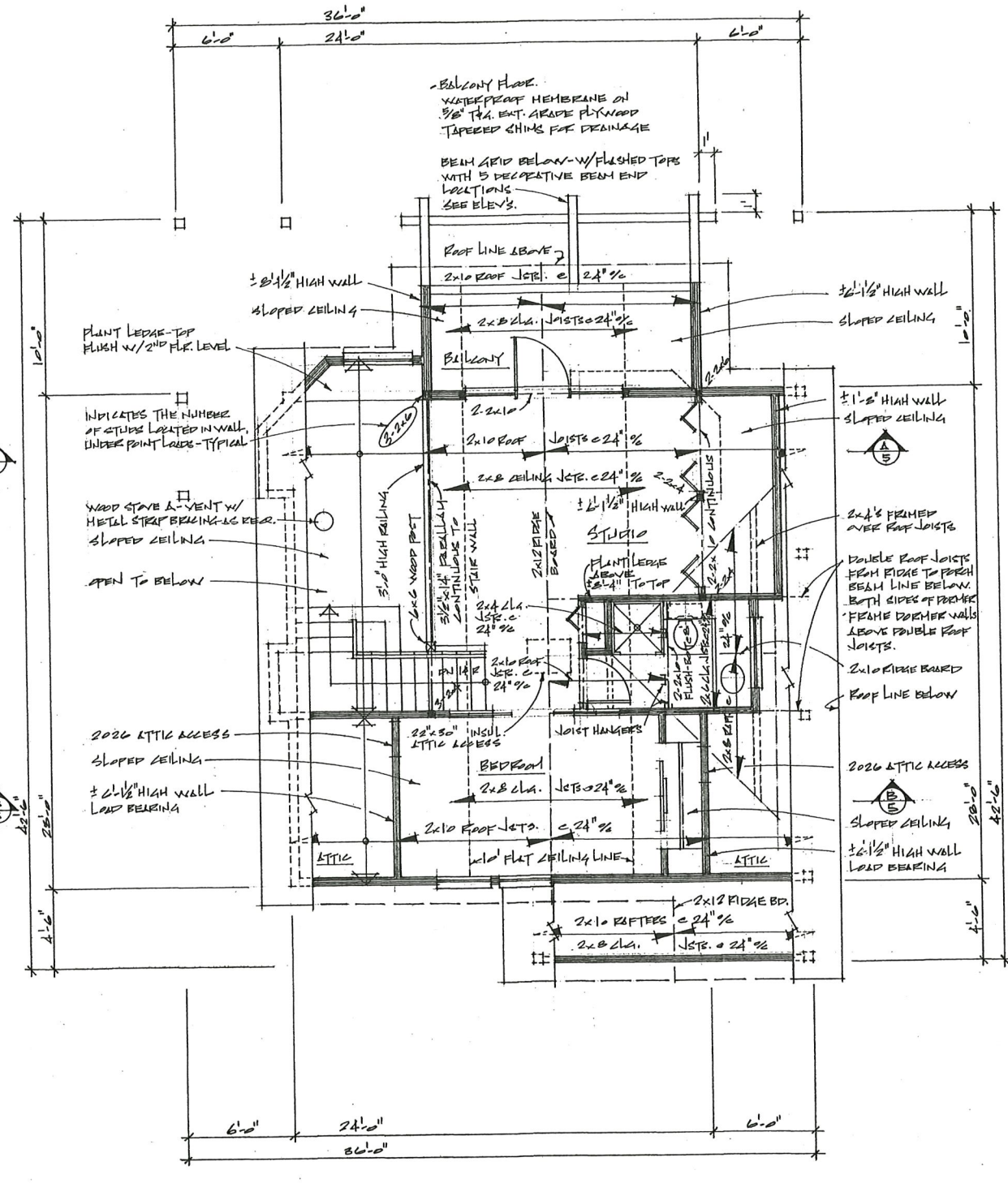
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SECOND FLOOR FRAMING PLAN
 SCALE 1/4" = 1' - 0"

| FLOOR DESIGN LOAD | LIVE LOAD | DEAD LOAD | TOTAL DESIGN LOAD |
|-----------------------------|--------------------|--------------------|--------------------|
| CARPET/SHEET VINYL FLOORING | 40 P.S.F. (1.9kPa) | 15 P.S.F. (.72kPa) | 55 P.S.F. (2.6kPa) |
| CERAMIC TILE OVER FLYWOOD | 40 P.S.F. (1.9kPa) | 25 P.S.F. (1.2kPa) | 65 P.S.F. (3.1kPa) |
| EXTERIOR BALCONY/DECK | 60 P.S.F. (2.9kPa) | 10 P.S.F. (.48kPa) | 70 P.S.F. (3.4kPa) |



ROOF FRAMING PLAN
 SCALE 1/4" = 1' - 0"

• ALL LINTELS TO BE 2-2x10 #2 P.K. UNLESS NOTED OTHERWISE.
 • ALL LAMINATED VENEER LUMBER (LVL) BEAMS SHALL BE MARKED WITH APPLICABLE CCNC EVALUATION NUMBERS IN CANADA. OWNER/BUILDER TO OBTAIN ENGINEER'S CERTIFICATE FROM SUPPLIER OF LVL BEAMS.
 LVL ALLOWABLE DESIGN STRESSES:
 MODULUS OF ELASTICITY E = 2.0 x 10⁶ PSI
 BENDING STRESS F_b = 2850 PSI

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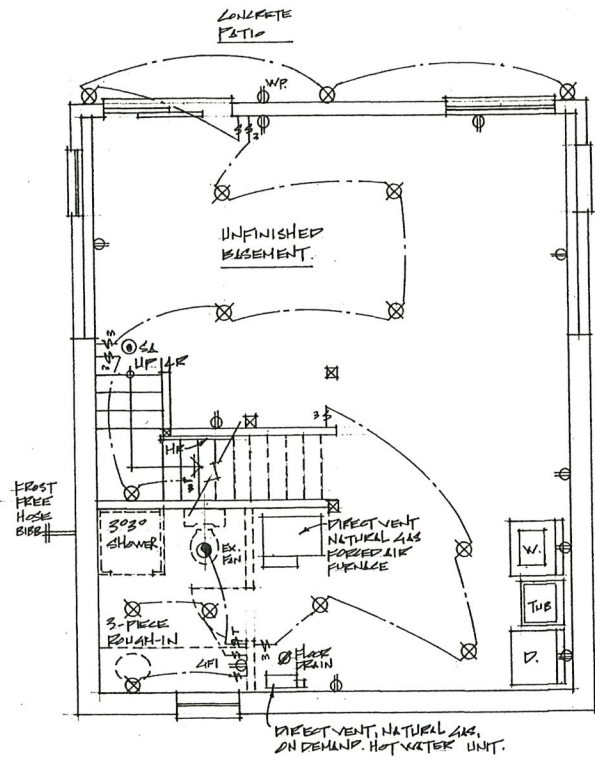
DESIGN 1154
 2nd FLOOR / ROOF FRAMING

PROPOSED RESIDENCE FOR

SCALE: 1/4" = 1'-0"
 DATE: FEB 2011
 REVISIONS:

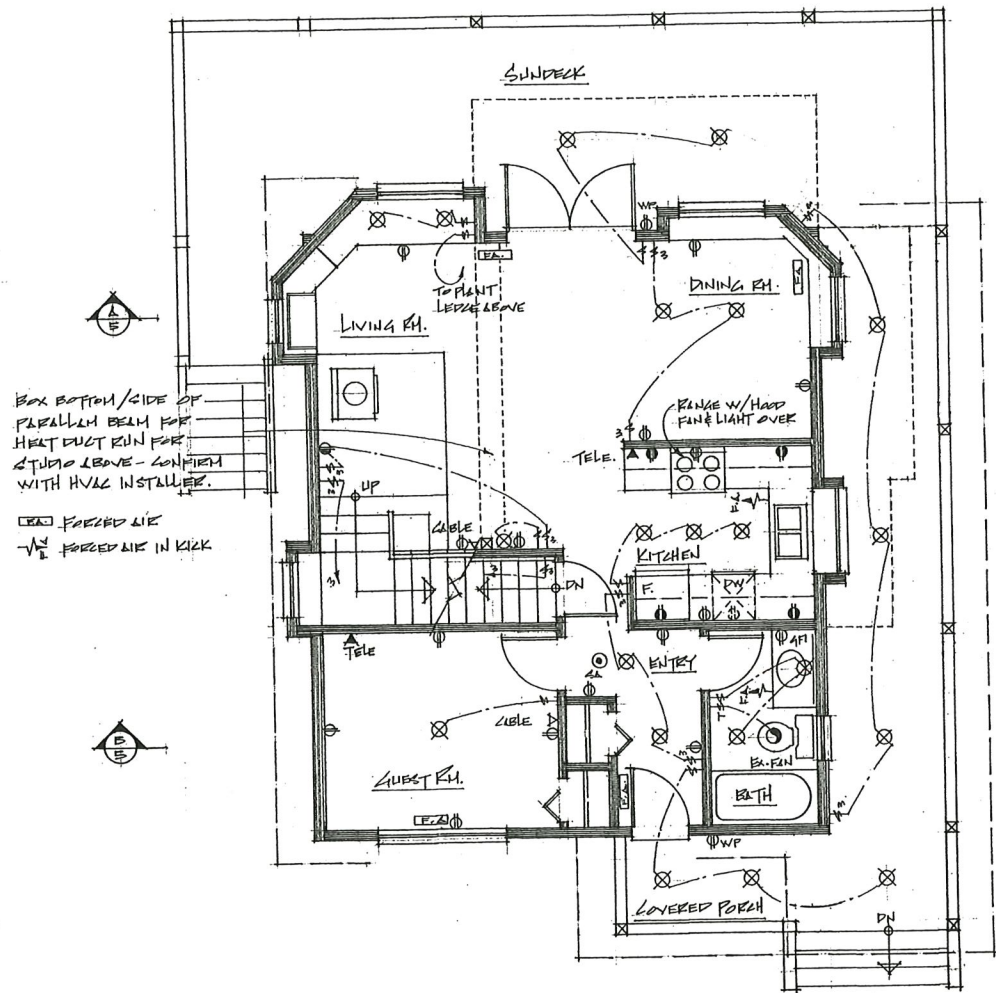
DESIGNED BY: JRS
 CHECKED BY:
 DRAWN BY:
 3 of 6

| ELECTRICAL SCHEDULE | |
|---------------------|---|
| SWITCH | ○ |
| 3 WAY SWITCH | ○ |
| 4 WAY SWITCH | ○ |
| DIMMER SWITCH | ○ |
| TIMER SWITCH | ○ |
| LIGHT | ○ |
| PULL CHAIN LIGHT | ○ |
| SECURITY LIGHT | ○ |
| POTLIGHT | ○ |
| TRACKLIGHT | ○ |
| FLUORESCENT | ○ |
| DUPLEX | ○ |
| SWITCHED | ○ |
| SPLIT | ○ |
| GFI | ○ |
| WATERPROOF | ○ |
| 220 | ○ |
| CEILING | ○ |
| FLOOR | ○ |
| SMOKE ALARM | ○ |
| DEHUMIDISTAT | ○ |
| EXHAUST FAN | ○ |
| CEILING FAN | ○ |
| HEAT LAMP/FAN | ○ |
| PHONE JACK | ○ |
| TV CABLE | ○ |
| MECHANICAL SCHEDULE | |
| FORCED AIR FLR | ○ |
| FORCED AIR CLG | ○ |
| FORCED AIR WALL | ○ |
| RETURN AIR | ○ |
| VACUUM INTAKE | ○ |

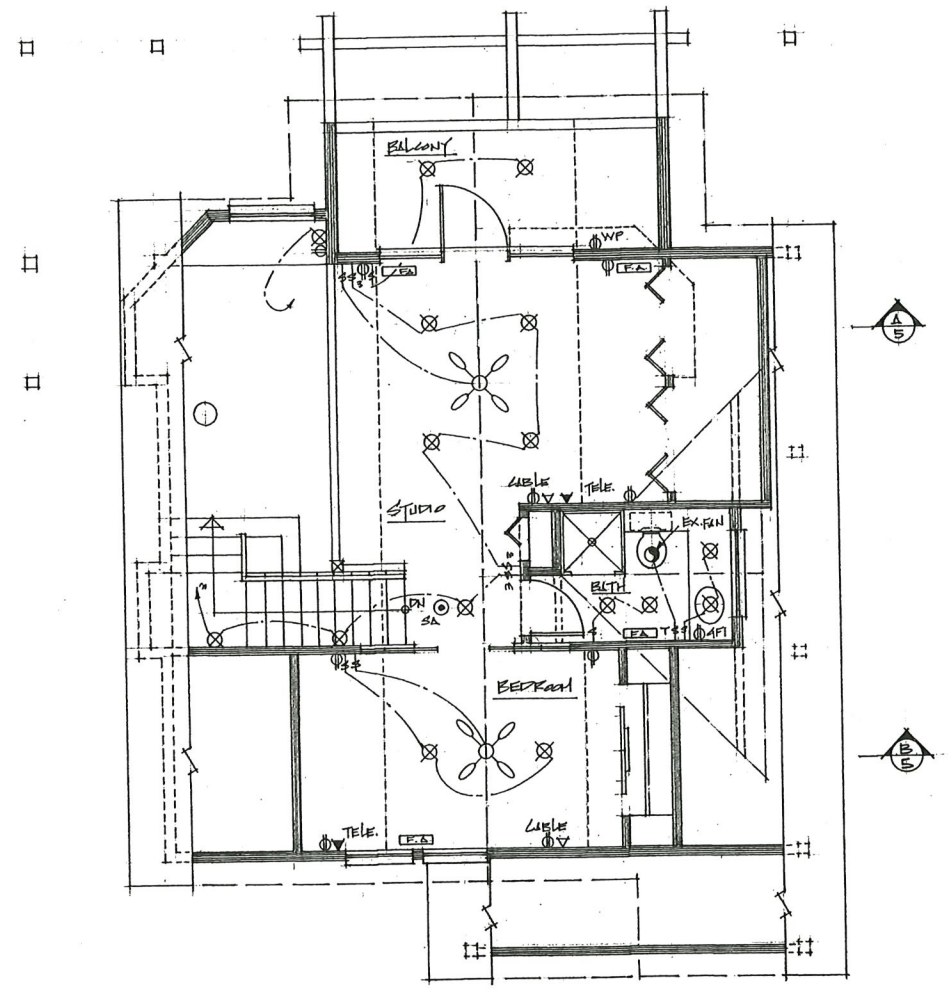


- CONFIRM ELECTRICAL LOCATIONS AND PANEL REQUIREMENTS WITH OWNERS, PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE CEILING HEATING OUTLETS AS REQUIRED.
- PROVIDE AND INSTALL A SUMP PUMP PLUMBED TO A GREY WATER BACK FIT, IF REQUIRED.
- PROVIDE AN EXTERIOR NATURAL GAS BRG. CONNECTION. CONFIRM LOCATION WITH OWNERS.
- SHAKE ALARMS TO BE HARDWIRED AND INTER-CONNECTED TO ALL LEVELS.

BASEMENT FLOOR PLAN
SCALE 1/4"=1' - 0"



FIRST FLOOR PLAN
SCALE 1/4"=1' - 0"



SECOND FLOOR PLAN
SCALE 1/4"=1' - 0"

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NOTES
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DESIGN 1154
ELECTRICAL FLOOR PLANS

PROPOSED RESIDENCE FOR

| | |
|-------------------|----------------|
| DESIGNED BY: JRS | CHECKED BY: |
| DRAWN BY: | DATE: FEB 2011 |
| SCALE: 1/4"=1'-0" | REVISIONS: |

4 of 6

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CONT. VENTING PIPE CAP
2x12 KIRAE BOARD

TYPICAL RAFTING
METAL RAFTING
BUILDING PAPER
1/2" RAFT SHEATHING
2x4 CROSS STRAPPING @ 24" @
2x10 RAFT JOISTS @ 24" @
E-28 F.R. BATT INSUL.
6 MIL POLY.
5/8" GYPSUM BOARD.

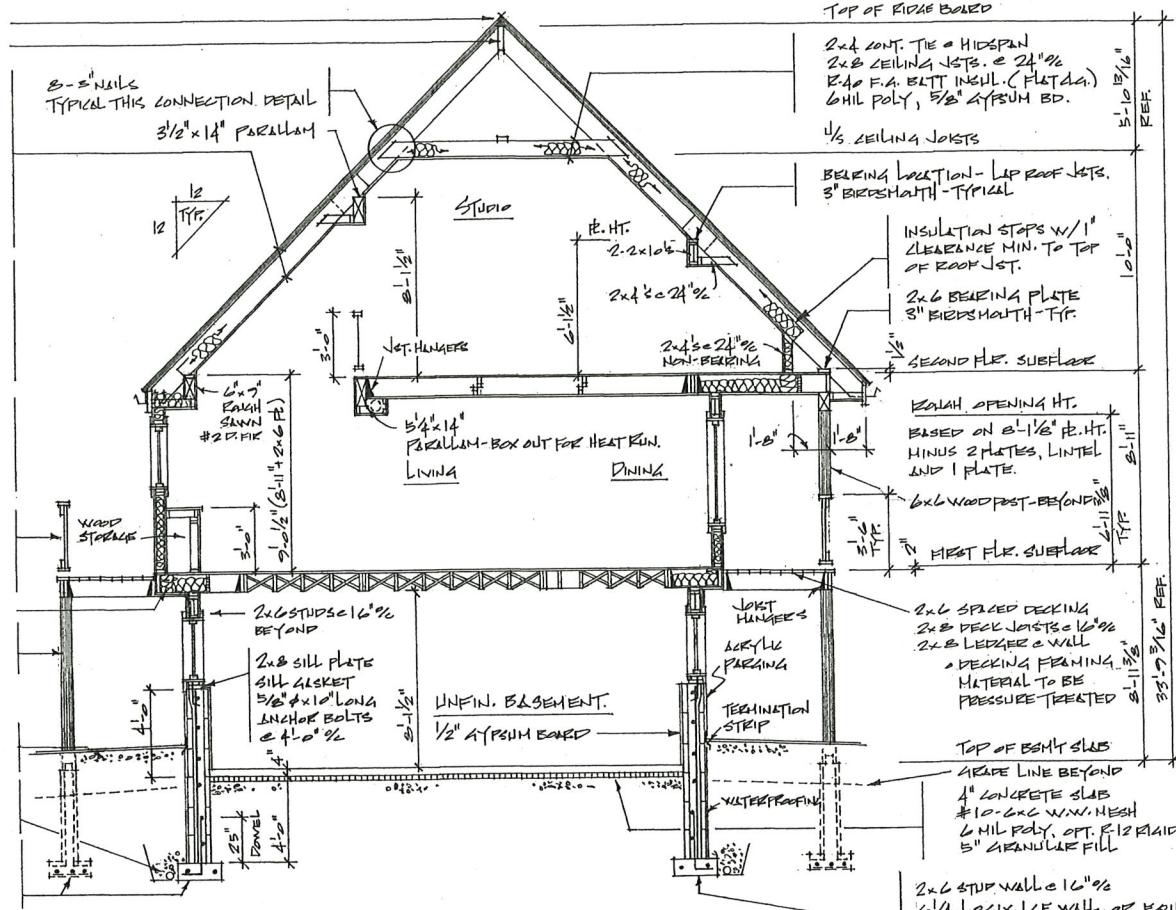
SECOND STOREY FLOOR
FINISHED FLOOR
5/8" T&G PLYWOOD - GLEUED & SCREWED
2x10 F.L. J.S.T.S. @ 16" @ (1/2" @ - SEE PLAN)
2 ROWS OF CROSS BRACING
1/2" GYPSUM BOARD SW.

FIRST STOREY FLOOR
FINISHED FLOOR
5/8" T&G PLY. - GLEUED & SCREWED
2x10 F.L. J.S.T.S. @ 16" @
2x2 L. BRG. @ HIDE SPAN.

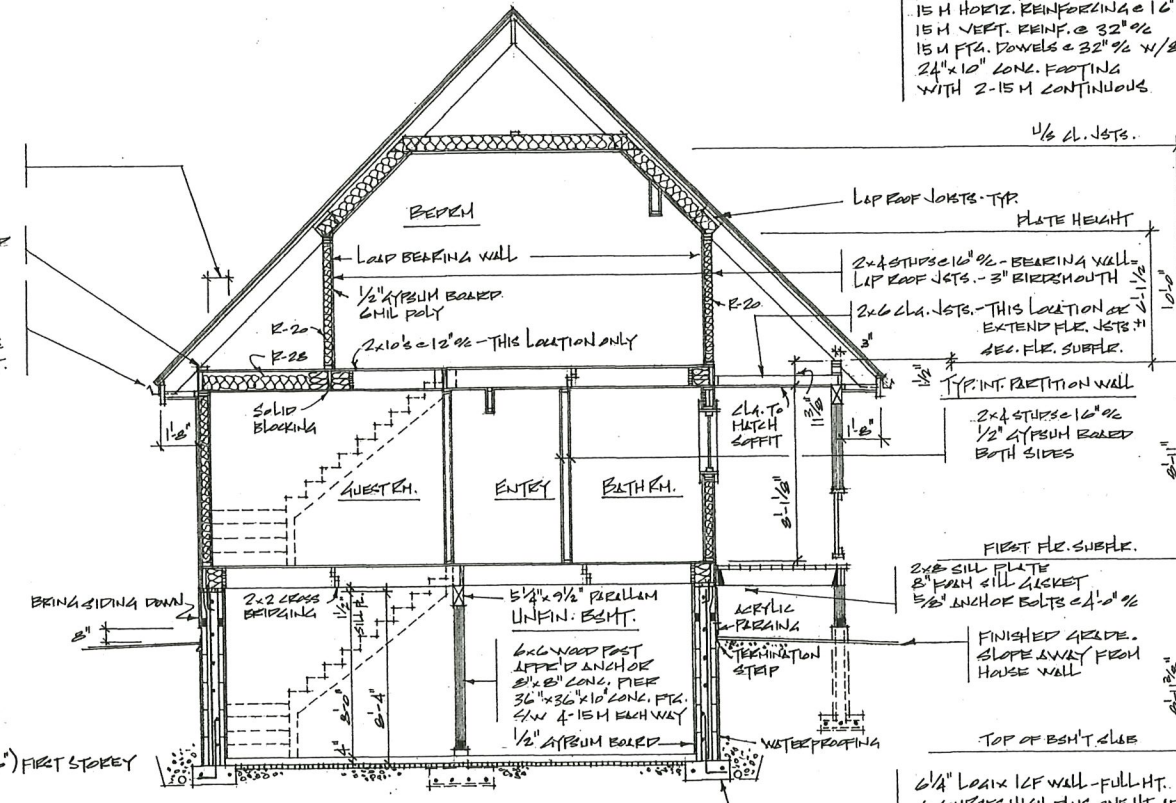
RAILING (F.T. MATERIAL REQUIRED)
2x4 CAP
2x4 TOP RAIL
2x2 UPRAIGHTS SPACED @ 5" @
2x4 BOT. RAIL... 2x4 BOTTOM
E-28 F.R. BATT INSUL. IN CANT'L. CAVITY
6x6 WOOD POST ON LAPPED ANCHOR
5" @ CONCRETE SOCKET
SW 2-15M VERTICAL W/ 1/2" HOOK INTO FTG.
24"x24"x8" CONCRETE FOOTING
SW 3-15M EACH WAY.

5" CLEAN GRANULAR FILL
OVER 6 MIL POLY
TYP. UNDER VERANDA
4" BRICK TILE - RUN TO AN LPT'D
BACK PIT - LOCATION & DESIGN BY OTHERS
6" MIN BRICK COVER

ALL FOOTINGS TO BE ON UNDISTURBED
NATIVE SOIL BELOW MAXIMUM BEAST
PENETRATION DEPTH. CONFIRM WITH LOCAL
AUTHORITIES HAVING JURISDICTION.



SECTION A SCALE 1/4" = 1' - 0"



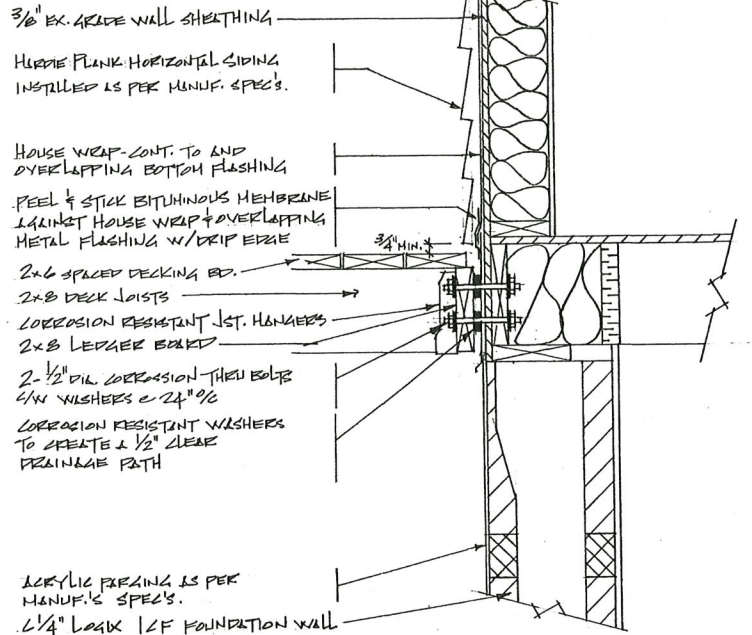
SECTION B SCALE 1/4" = 1' - 0"

EAVER PROTECTION TO RUN MIN.
12" PAST INSIDE FACE OF STUD WALL.

2x6 BEARING PLATE
3" BIRDSMOUTH
HURDIE PLANK HORIZONTAL SIDING
INSTALLED AS PER MANUF. SPEC'S.
HOUSE WRAP
3/8" EXT. GR. WALL SHEATHING
2x6 WALL STUDS @ 16" @
E-28 F.R. BATT INSUL.
6 MIL POLY
1/2" GYPSUM BOARD.

TYP. EXTERIOR WALL
HURDIE PLANK SIDING
INSTALLED AS PER MANUF. SPEC'S.
HOUSE WRAP
3/8" EXT. GR. WALL SHEATHING
2x6 WALL STUDS @ 16" @
E-28 F.R. BATT INSUL.
6 MIL POLY
1/2" GYPSUM BOARD.

FIRST/SECOND STOREY STAIRS
1 1/2" RISERS
RISE: 7.62" (7 5/8") SEC. STOREY, 7.62" (7 1/2") FIRST STOREY
RUN: 10"
NOSSING: 1"
HANDRAIL 2 1/2" MIN. ABOVE NOSINGS.
2x12 STRINGERS, 1/2" G.I.S. PLY. RISERS.



DECK LEDGER DETAIL
NO SCALE

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GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- BUILDER/OWNER TO VERIFY ALL DIMENSIONS, PROPERTY SETBACKS, SITE CONDITIONS AND DESIGN LOADINGS PRIOR TO THE START OF CONSTRUCTION.
- DIMENSIONS ARE TAKEN FROM THE FACE OF STUDS OR CONCRETE, UNLESS INDICATED OTHERWISE.
- ALL WINDOW AND GLAZED DOOR UNITS TO BE DOUBLE GLAZED.
- ALL BATHROOM GLAZING AND GLAZING WITHIN 12" OF A FLOOR SURFACE TO BE OF TEMPERED OR SAFETY GLASS.
- HEATING TO BE ELECTRIC BASEBOARD, TO BE LOCATED AND ZONE CONTROLLED, AS REQUIRED. CONFIRM WITH OWNER.
- CONFIRM ALL ELECTRICAL/PLUMBING REQUIREMENTS WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
- CONCRETE TO BE 20 MPa MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS, EXCEPT GARAGE/CARPORT SLABS, EXTERIOR STEPS AND ALL EXTERIOR FLATWORK SHALL NOT BE LESS 32 MPa @ 28 DAYS.
- FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR AN ASSUMED SOIL BEARING CAPACITY OF 75 KPa. IF A LESSER SOIL BEARING IS ENCOUNTERED, IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS ACCORDINGLY.
- WOOD JOINTS IN CONTACT WITH CONCRETE TO BE PROTECTED BY 45# RAIMPAPERING COURSE OR EQUIVALENT.
- ALL BEAMS AND LINTELS TO BE NO. 2 D.F.K. OR BETTER.
- ALL LINTELS TO BE 2-2x10, UNLESS NOTED OTHERWISE.
- ALL TIMBER BEAMS TO BE NO. 2 D.F.K. U.N.O.
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS SHALL BE HEDGED WITH APPLICABLE CANC EVALUATION NUMBER IN CANADA. OWNER/BUILDER TO OBTAIN ENGINEERS CERTIFICATE FROM SUPPLIER OF LVL BEAMS.
- LVL AVAILABLE DESIGN STRESSES:
MODULUS OF ELASTICITY E = 2.0 x 10⁶ PSI.
BENDING STRESS F_b = 2850 PSI.
- ASSUMED DESIGN LOADS FOR THIS DESIGN:
ROOF DESIGN LOAD ROOFING 32 PSF
COMPOSITE LIVE LOAD 32 PSF
DEAD LOAD 15 PSF
TOTAL DESIGN LOAD 47 PSF
FLOOR DESIGN LOAD 40 PSF
LIVE LOAD 40 PSF
DEAD LOAD 15 PSF
TOTAL DESIGN LOAD 55 PSF
- CERAMIC TILE BALCONY
40 PSF
25 PSF
10 PSF
70 PSF

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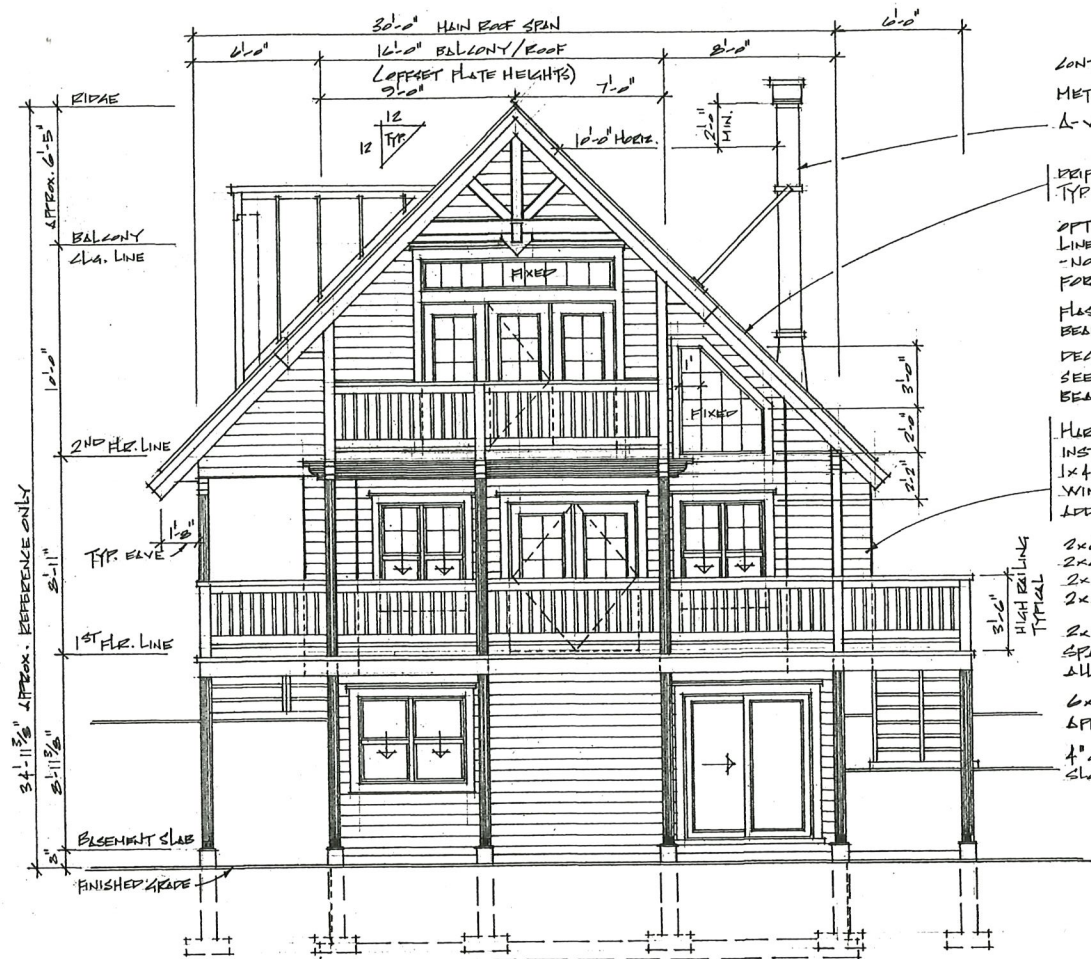
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DESIGN 1154 CROSS SECTIONS

PROPOSED RESIDENCE FOR

SCALE: 1/4" = 1'-0"
DATE: FEB 2011
DESIGNED BY: JRS
CHECKED BY: JRS
DRAWN BY: JRS

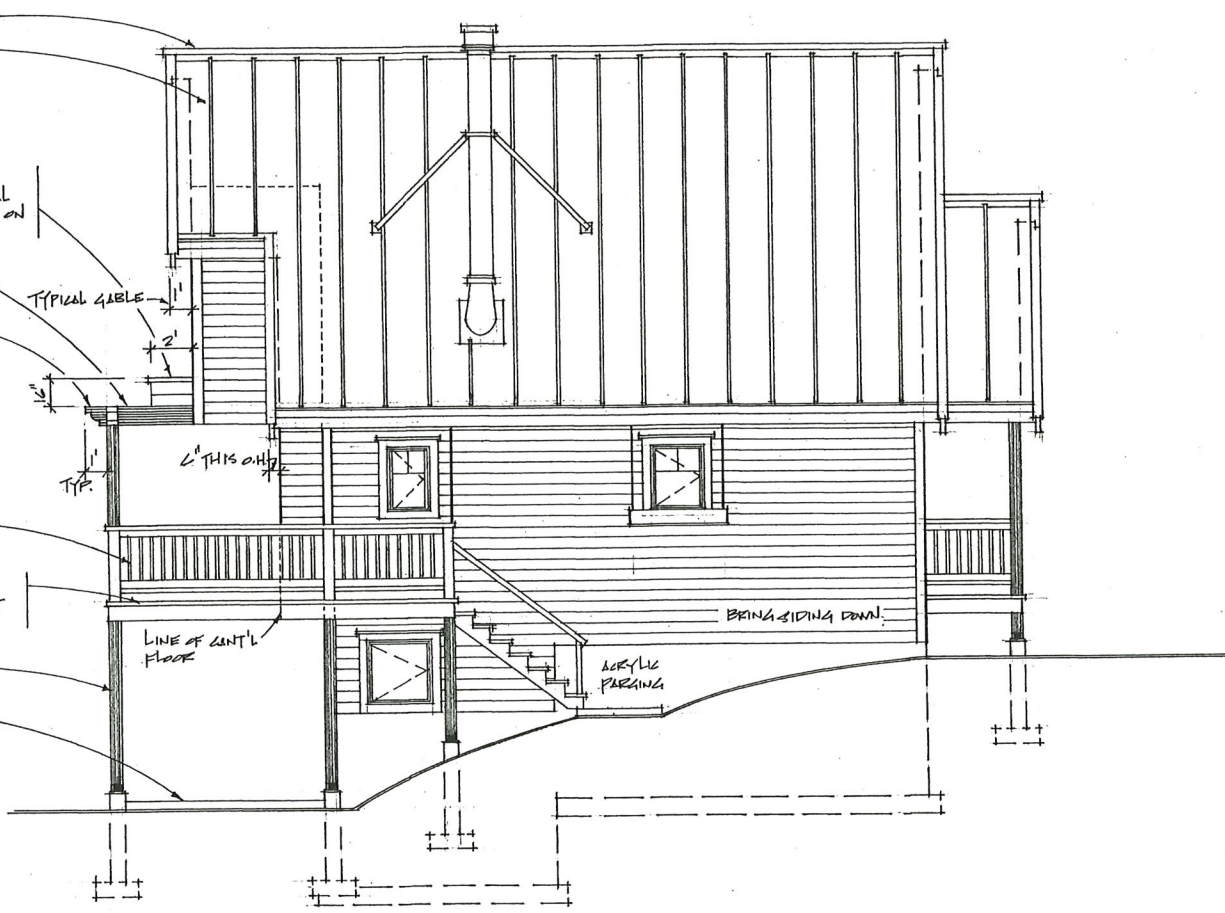
5 of 6



REAR ELEVATION

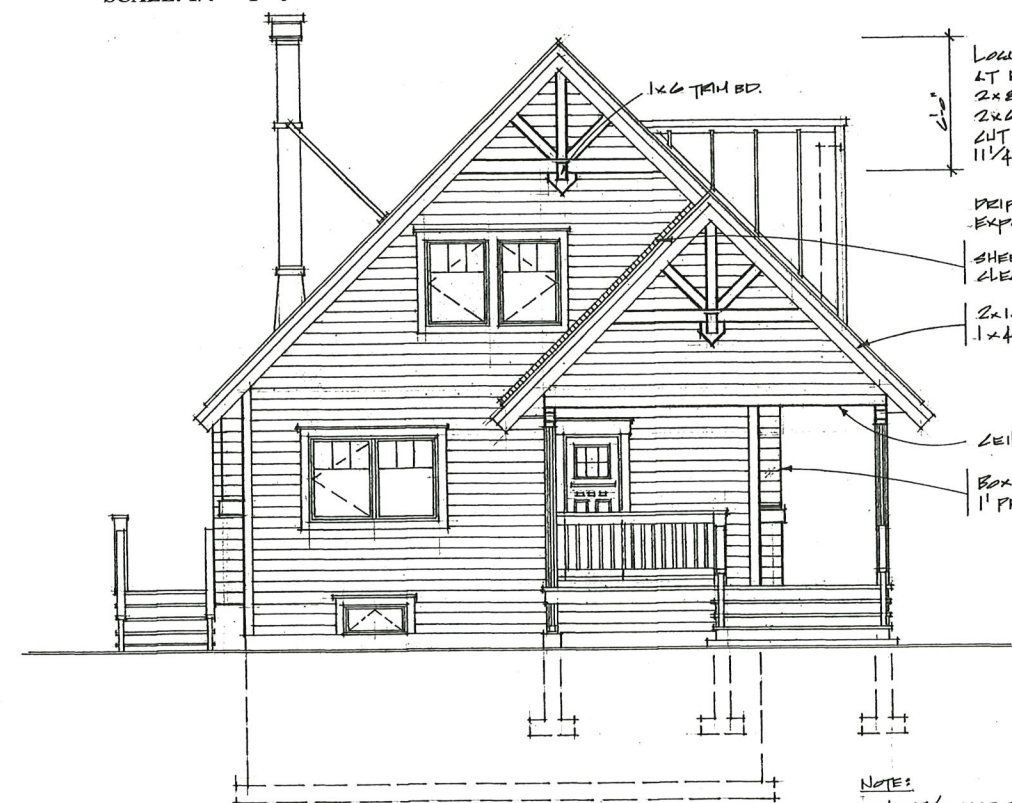
SCALE: 1/4" = 1'-0"

- CONTINUOUS VENTING EDGE CAP
- METAL ROOFING
- A-VENT BELIED AS BOARD.
- DEEP EDGE FLASHING TYPICAL TO EAVE & BARGE
- OPTIONAL PLANKER BOX LINED WITH NON-CORROIVE METAL - NOT SHOWN ON REAR ELEVATION FOR CLARITY
- FLASH TOPS OF ALL EXPOSED BEAMS - (PAINTED FLASHING)
- DECORATIVE BEAM ENDS SEE FRAMING PLANS FOR BEAM SIZES.
- HURDIE PLANK SIDING INSTALL AS PER MANUF. SPECS. 1x4 HURDIE TRIM AROUND WINDOWS AND DOORS. LED 1/2"x1" BULLNOSE TO TOP.
- 2x6 TOP CAP
- 2x4 TOP & BOTTOM RAILS
- 2x2 UPRIGHTS @ 5" @ 2x4 BOTTOM RAIL
- 2x6 PRESSURE TREATED SPACED DECKING - FIELD TREAT ALL CUT ENDS.
- 6x6 WOOD POSTS ON APPROVED ANCHORS.
- 4" CONCRETE PATIO SLAB SLOPE AWAY FROM HOUSE.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

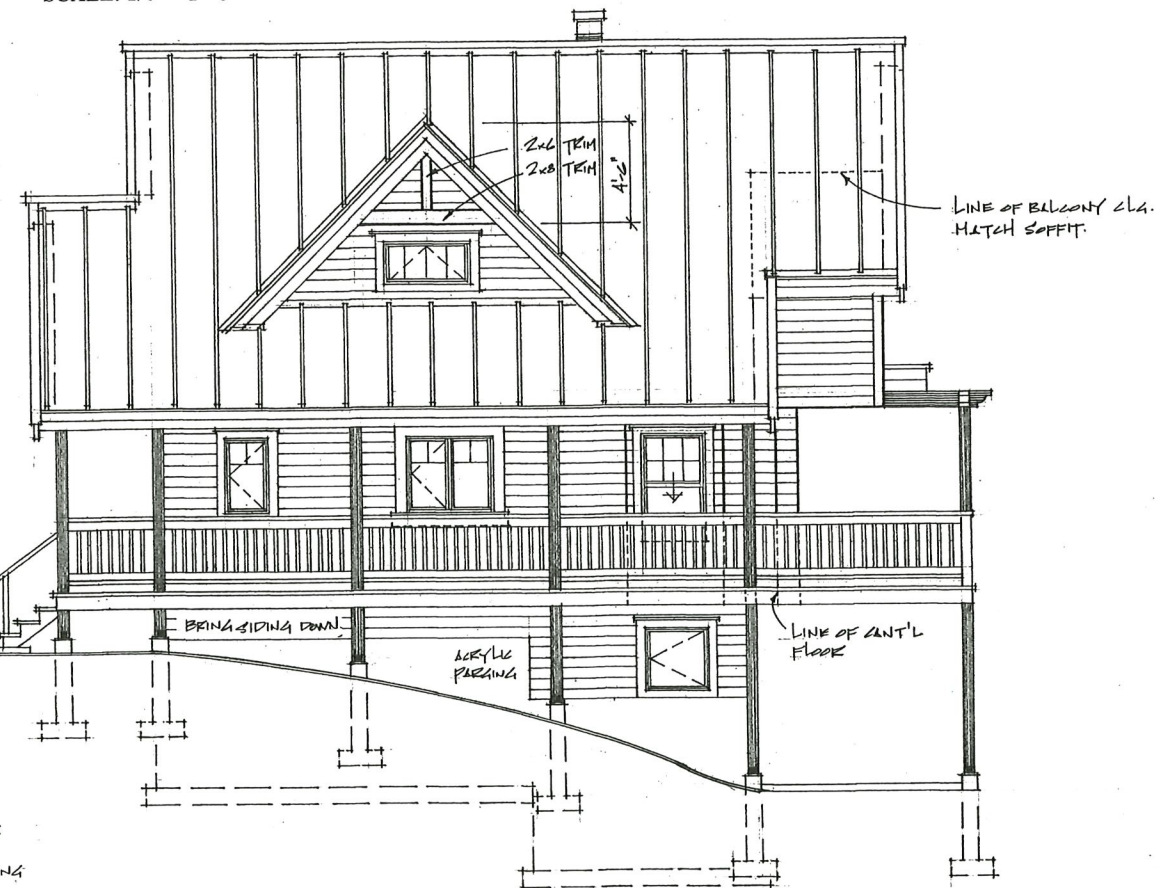


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

- ROUTE DECORATIVE TRIM FLUSH AT BARGE BOARD LOCATION
- 2x6 HORIZ. TRIM BD.
- 2x6 UPRIGHTS CUT BOTTOM DETAIL FROM 2x12 11 1/4" HIGH x 13 1/4" WIDE
- DEEP EDGE FLASHING TO ALL EXPOSED WINDOW & DOOR HEADS
- SHEET METAL FLASHING W/2" CLEARANCE MIN. TO SIDING
- 2x10 BARGE BOARD
- 1x4 FRIEZE BOARD TRIM
- CEILING TO MATCH SOFFIT
- BOX WINDOW 11" PROJECTION

- NOTES:**
- BUILDER/OWNER TO ENSURE ALL BEDROOM WINDOWS MEET LOCAL FIRE/EGRESS REQUIREMENTS WITH THE AUTHORITIES HAVING JURISDICTION.
 - BEFORE ORDERING WINDOWS WE RECOMMEND FINISHING THE ROUGH OPENINGS FOR SPECIAL WINDOWS AND PROVIDING THIS INFORMATION TO YOUR WINDOW MANUF.
 - ALL FOOTINGS TO BE ON SOLID UNDISTURBED NATIVE SOIL AT AN ELEVATION BELOW MAXIMUM FROST PENETRATION DEPTH. COMPLY W/ LOCAL AUTHORITIES.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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DESIGN 1154 ELEVATIONS

PROPOSED RESIDENCE FOR

SCALE: 1/4" = 1'-0"

DATE: FEB 2011

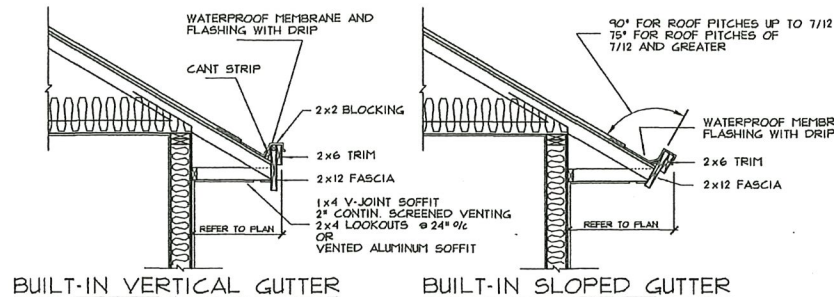
DESIGNED BY: JRS

DRAWN BY: JRS

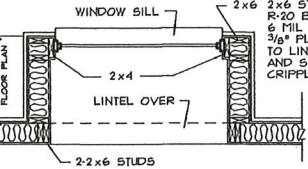
CHECKED BY: JRS

REVISIONS:

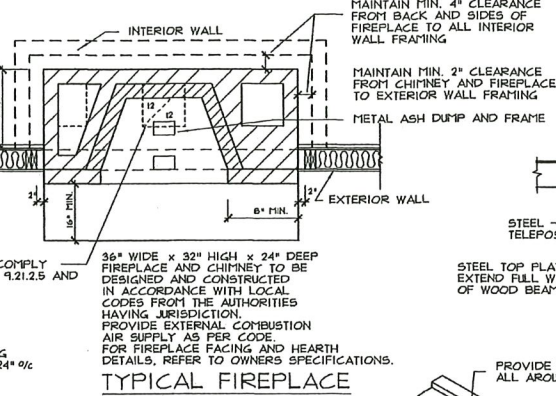
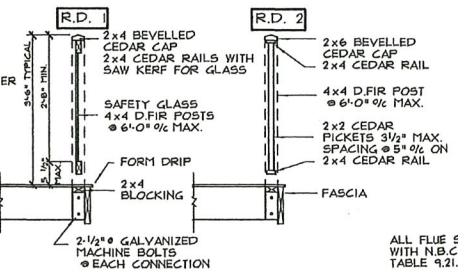
6 of 6



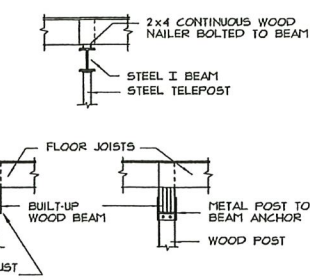
BOXED OUT WINDOW



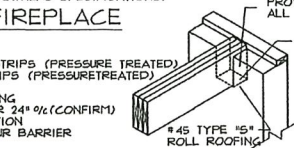
RAILING DETAILS



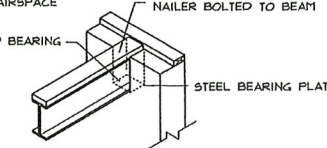
POST/BEAM DETAILS



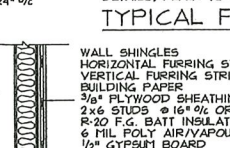
WOOD BEAM POCKET



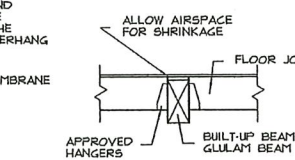
STEEL BEAM POCKET



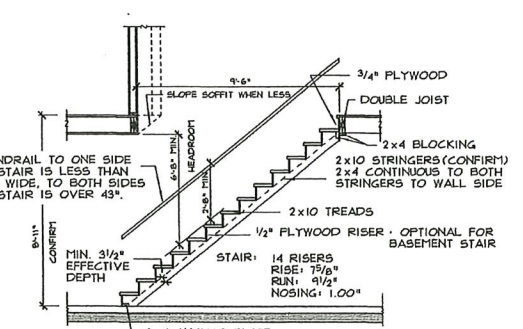
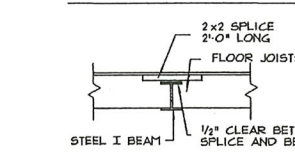
WALL SHINGLES



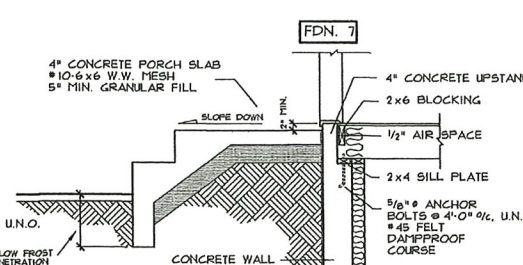
WOOD BEAM FLUSH



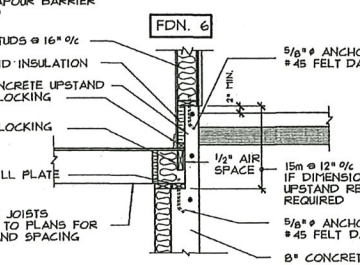
STEEL BEAM FLUSH



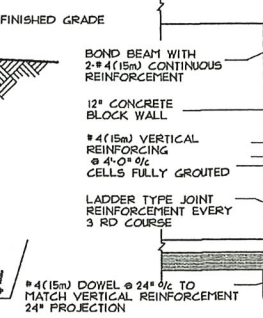
CONCRETE STOOP



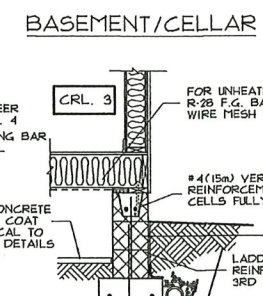
SUNKEN ROOM ADJACENT TO CONCRETE PORCH SLAB



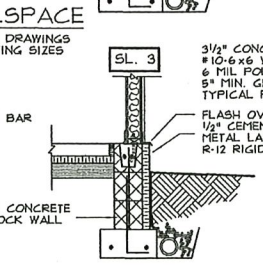
BASEMENT/CELLAR



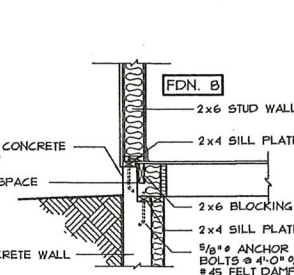
CRAWLSPACE



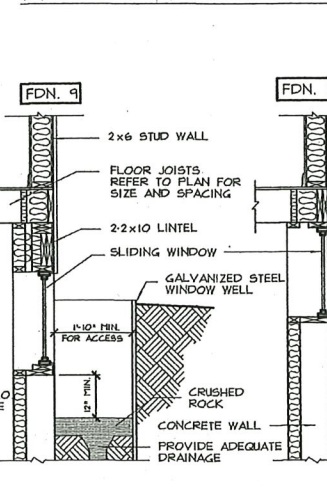
SLAB ON GRADE



FOUNDATION UPSTAND



WINDOW WELL DETAILS



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**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: April 29, 2021

Agenda item: 6b

Appeal Date: April 29, 2021

Applicant: Michael Lemon

Address: 4400 McKeachie Road
White Lake, MI 48383

Zoning: SF Suburban Farms

Location: 4400 McKeachie Road
White Lake, MI 48383

Property Description

The approximately 3.35-acre parcel identified as 4400 McKeachie Road is located on the east side of McKeachie Road, south of Brendel Road, and zoned SF (Suburban Farms).

Applicant's Proposal

Michael Lemon, the applicant, is proposing to install a swimming pool in the front yard.

Planner's Report

A building permit was issued on March 31, 2021 for a 40-foot by 18-foot (720 square feet) inground pool on the west side of the house. A variance should have been required to locate the pool in the front yard. Work on the pool had not commenced prior to intervention by the Planning Department. In a letter dated April 5, 2021 staff rescinded the building permit and associated mechanical, electrical, and plumbing permits and informed the applicant a variance was required from the Zoning Board of Appeals to construct the pool in the proposed location.

Article 5, Section 10 of the zoning ordinance states residential swimming pools shall be located only behind the rear line of the home, no closer than 10 feet to any lot line, and fenced on all sides with a minimum four-foot high, non-ladderable fence, with any gate to be self-closing and latching. The provided site plan, which was not drawn to scale, shows the proposed pool projecting 124 feet in front of the rear line of the house. Therefore, the applicant is requesting a variance of 124 feet. A revised plan drawn to scale confirming the proposed dimensions will be required if the ZBA approves the request.

The requested variance is listed in the following table.

| Variance # | Ordinance Section | Subject | Standard | Requested Variance | Result |
|-------------------|--------------------------|----------------|---------------------------|---------------------------|--------------------|
| 1 | Article 5.10 | Swimming Pools | Behind rear line of house | 124 feet | Pool in front yard |

Zoning Board of Appeals Options:

Approval: I move to approve the variance requested by Michael Lemon from Article 5.10 of the Zoning Ordinance for Parcel Number 12-08-251-003, identified as 4400 McKeachie Road, in order to install a swimming pool that would project 124 feet in front of the rear line of the house. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- A site plan drawn to an engineer's scale shall be submitted prior to the issuance of a Building Permit.

Denial: I move to deny the variance requested by Michael Lemon for Parcel Number 12-08-251-003, identified as 4400 McKeachie Road, due to the following reason(s):

Table: I move to table the variance request of Michael Lemon for Parcel Number 12-08-251-003, identified as 4400 McKeachie Road, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated April 5, 2021.
2. Applicant's written statement.
3. Applicant's site plan.
4. Letter rescinding permits dated April 5, 2021.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.

B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

C. Not self created: The applicants problem is not self created.

D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).

E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.

F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:

i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;

ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION

RECEIVED
APR 05 2021

COMMUNITY
DEVELOPMENT
DEPARTMENT

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Michael Leman PHONE: 248-931-2964

ADDRESS: 4400 McKeachie Rd

APPLICANT'S EMAIL ADDRESS: Economytool@hotmail.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 4400 McKeachie Rd PARCEL # 12 - 08-251-003

CURRENT ZONING: Suburban Farm PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

VALUE OF IMPROVEMENT: \$ 45,000.00 SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

I applied for a permit to have an in ground pool put in my front yard as I don't have room in the back yard for a pool. on 3-31-2021 I received an email stating my permit was approved so we purchased our pool which is non refundable. on 4-5-2021 I picked up my permit. I was then called and told the permit had been rescinded.

APPLICATION FEE: _____ (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: Michael Leman DATE: 4-5-21

I was told I would need to apply for a variance with the Planning Board of Appeals. Due to the fact of my house sitting so far back I don't have room anywhere else. I was not aware of the ordinance but first I called the building department and asked if I could put a pool in my front yard and was told yes and to file for a permit. I filed for and was granted a permit which is why I bought the pool for \$28,000.00. Due to the fact we live so far back for the most part you wouldn't be able to even tell there would be a pool. we are asking to be granted a variance so we can put our pool in.

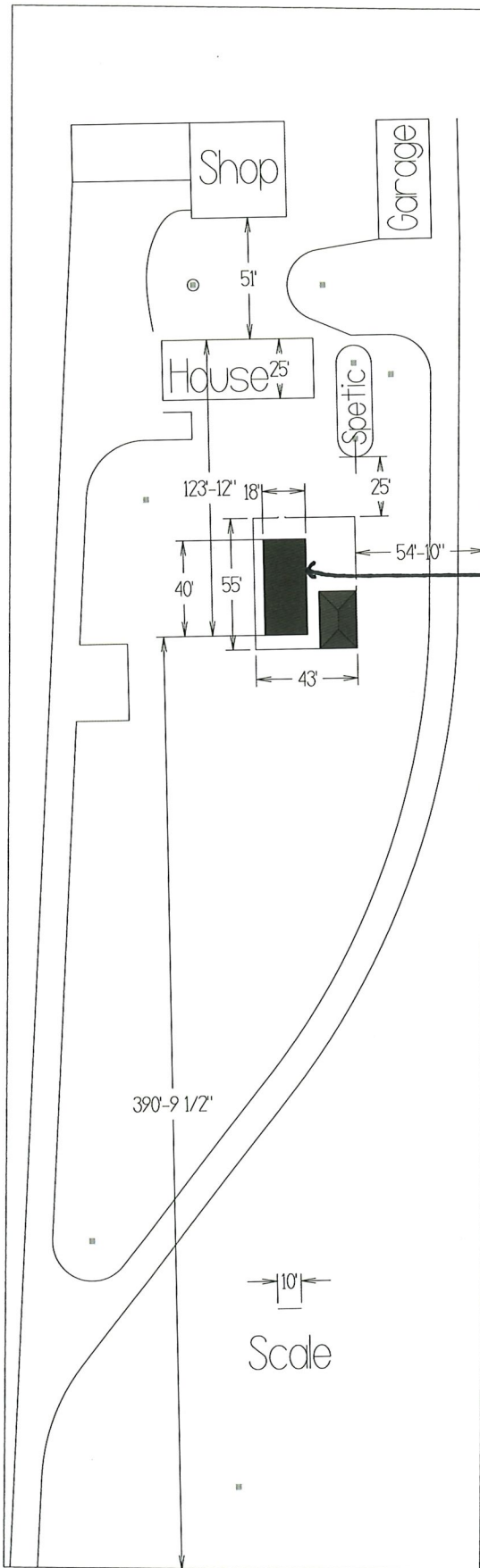
Thank you
Michael Leman

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DEPARTMENT

East



North

South

390'-9 1/2'

10'

Scale

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APR 07 2021

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DEPARTMENT

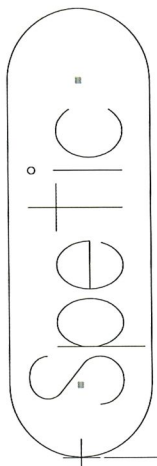
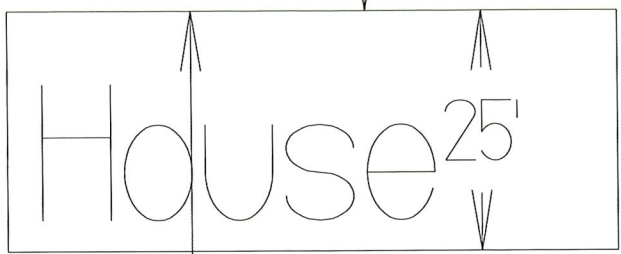


Top

4400 McKeachie Rd

West

992.7902 in
Inch



123'-12"

18'

25'

40'

55'

54'-10"

Pool

43'



Top

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APR 07 2021
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276.6597 in
Inch

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



COPY

Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 5, 2021

Michael F. Lemon
Kimberly A Lemon
4400 McKeachie Rd.
White Lake, MI 48383-1623

Dear Michael & Kim Lemon:

Per our phone discussion this morning, the permit for your swimming pool was issued in error. Article 5, Section 10 of the zoning ordinance states residential swimming pools shall be located only behind the rear line of the home. The proposed pool would be located in the front yard at 4400 McKeachie Road. A variance is required from the Zoning Board of Appeals to construct the pool in the proposed location.

Attached is the variance application. The filing fee for the April 29 Zoning Board of Appeals Special Meeting is \$635. To be eligible for the April 29 meeting, an application must be submitted to the Planning Department no later than April 7 at 4:30 p.m.

You indicated during our discussion this morning no work related to the permit had commenced. At this time, Building Permit #21-00715, along with the MEP permits #P21-00725, #P21-00726 and P#21-00727 are being rescinded and a Stop Work Order is placed on the project.

Thank you,

Justin Quagliata
Staff Planner
White Lake Township
7525 Highland Road
White Lake, MI 48383