

WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS VIRTUAL REGULAR MEETING
APRIL 22, 2021

Ms. Spencer called the regular meeting of the White Lake Township Zoning Board of Appeals to order at 7:03 p.m. and led the Pledge of Allegiance. Roll was called:

ROLL CALL: Josephine Spencer – Chairperson, present in White Lake, MI
 Dave Walz – Vice Chair, present in White Lake, MI
 Debby Dehart, present in White Lake, MI
 Nik Schillack, present in White Lake, MI
 Mike Powell, present in White Lake, MI

Also Present: Justin Quagliata, Staff Planner
 Hannah Micallef, Recording Secretary

Visitors: 0

APPROVAL OF THE AGENDA:

Mr. Walz MOTIONED to approve the agenda as amended. Mr. Schillack SUPPORTED. All in favor.

APPROVAL OF MINUTES:

Zoning Board of Appeals Regular Meeting of March 25, 2021.

Mr. Walz MOTIONED to approve the regular meeting minutes of March 25, 2021 as presented. Mr. Schillack SUPPORTED. All in favor.

NEW BUSINESS

- a. Applicant: James Kovach
 3700 Jackson Boulevard
 White Lake, MI 48386
- Location: **3700 Jackson Boulevard**
 White Lake, MI 48386 identified as 12-07-158-013
- Request: The applicant requests to construct a house, requiring a variance from
 Article 3.1.5.E, R1-C Single Family Residential Front-Yard Setback

Chairperson Spencer noted for the record that 26 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

James Kovach was present to speak on his case. He said he resubmitted drawings from his architect that showed a clearer view of the roof overhangs.

Mr. Quagliata said the applicant needed to revise his plot plan for the Building Department with the updated overhangs if the requested variance was approved.

Chairperson Spencer opened the public hearing at 7:11 P.M. Seeing no public comment, she closed the public hearing at 7:11 P.M.

Mr. Schillack MOVED to approve the variance requested by James Kovach from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-07-158-013, identified as 3700 Jackson Boulevard, in order to construct a new house that would encroach 22 feet into the required west front yard setback. This approval will have the following conditions:

- **The applicant's plot plan shall be updated and presented to the Building Official prior to obtaining permits from the Building Department.**
- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**

Staff Planner Quagliata went through the standards from Article 7.37 of the ClearZoning Ordinance:

- A. Practical Difficulty was MET
 - Chairperson Spencer said a practical difficulty was demonstrated due to the right-of-way of Jackson Boulevard and the property's two front yard setbacks.
 - Mr. Powell said a practical difficulty was demonstrated due to the lot's lack of depth.
- B. Unique Situation was MET
 - Mr. Schillack said the unique situation was the Jackson Boulevard right-of-way. Ms. Dehart agreed.
- C. Not a Self-Created Hardship was MET
 - Mr. Walz said the situation was pre-existing and the applicant had no control over it.
 - Mr. Powell said the lot was part of the original plat.
- D. Substantial Justice was MET
 - Mr. Schillack said the variance would grant substantial justice as the variance would allow the applicant to build a house more consistent with the houses in the neighborhood, and could not see the proposed plans causing any discomfort or danger to the neighbors. Chairperson Spencer agreed.
 - Mr. Powell said the variance allowed the applicant the only way to improve his property.
- E. Minimum Variance Necessary was MET
 - Chairperson Spencer said the applicant did not request an excessive variance.
 - Mr. Schillack added nothing more had been requested from the applicant due to the right-of-way.

**Mr. Powell SUPPORTED, and the motion CARRIED with a roll call vote (5 yes votes).
(Spencer/yes, Powell/yes, Dehart/yes, Schillack/yes, Walz/yes)**

- b.** Applicant: David Nellist
301 South Silvery Lane
Dearborn, MI 48124
- Location: **10697 Castlewood Drive**
White Lake, MI 48386 identified as 12-34-151-004
- Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Side-Yard Setback and Article 3.11.Q, Water Features Setback due to the proposed buildings setbacks from the water's edge. Variances from Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width are also required.

Ms. Spencer noted for the record that 11 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Mr. Schillack asked staff when the applicant purchased the property. Staff Planner Quagliata said 2019.

Mr. Schillack asked staff if the ordinances affecting development of the subject property had changed since 2019. Staff Planner Quagliata said no.

Mr. Schillack asked staff if the parcel had been split. Staff Planner Quagliata said no, it was an original un-platted parcel from the 1960's.

Mr. Schillack asked staff if fill was brought into the property. Staff Planner Quagliata said fill was brought into the property at some point. He stated in 1963, there was a structure on the parcel and the western portion of the land wasn't as filled. Sometime between 1974 and 1980, fill was brought in as shown on Oakland County's aerial photos. The previous structure on the property was demolished in 2006.

Mr. Schillack asked staff about the soil investigation report. Staff Planner Quagliata said there were engineering concerns with pile vibrations shaking other homes off their foundations. There were many geotechnical concerns with the site, and not many houses in the Township were built on piles. The applicant would have to be mindful of helical piles, and a larger shaft diameter would likely have to be used to prevent buckling of the piles. The site was challenging to build.

Ms. Dehart asked staff if the applicant would have to get permission from the parcel to the north to extend the road to their parcel. Staff Planner Quagliata said it would be an Oakland County Road Commission determination.

Mr. David Nellist, applicant, and his architect, James Nellist, 1331 Cornell Drive, Grand Rapids, were present to speak on the case. Mr. James Nellist said a new survey was done since the last time this case was before the Board. A seawall was also staked out, and was waiting on EGLE approval. Lopez Engineering would be assisting with the design and installation of the helical piles. The carport was moved to the east to get farther from the softer soils on the west side of the property, pending their engineer's opinion. A well company came out, and the well would be below the deck on the south side.

Mr. Powell asked the applicant why the garage was proposed to be closer to the road. Mr. James Nellist said several configurations were considered. One configuration was considered lengthwise east to west, but that would have blocked the front door. He added he didn't want to place the garage too close to the lake because of the softer soils. He said it made more sense to align it with the roof and to have room between the house and the garage.

Ms. Dehart asked the applicant if the piles would have fill on top, and how that would affect the neighbors. Mr. James Nellist said that would be a discussion with their engineer, but the idea was for the least amount of footprint in terms of weight; he would like to avoid fill as much as possible. The crawl space may be eliminated and the elevation of the house would be above the floodplain. Staff Planner Quagliata said bringing fill to the site could cause instability and be problematic. Mr. David Nellist said he hoped to only use a minimum amount of fill by having the house sit on piles instead of a concrete foundation.

Chairperson Spencer opened the public hearing at 8:05 P.M. Seeing no public comment, she closed the public hearing at 8:06 P.M.

Ms. Dehart asked staff if the lot was not platted, how did it come into existence. Staff Planner Quagliata said the lot was a metes and bounds parcel created by a land division.

Staff Planner Quagliata went through the standards from Article 7.37 of the ClearZoning Ordinance:

- A. Practical Difficulty was MET
 - Mr. Powell said a practical difficulty was demonstrated due to the water to the west and lot being narrower than normal.
 - Mr. Walz said the applicant did not take shortcuts and did their appropriate due diligence.
- B. Unique Situation was MET
 - Mr. Schillack said the unique situation was the lot was different from the others to the east due to the water features surrounding the lot.
- C. Not a Self-Created Hardship was MET
 - Ms. Dehart said the water feature caused a greater side yard setback.
- D. Substantial Justice was MET
 - Mr. Schillack said the lot was not the same as the lot to the east.
- E. Minimum Variance Necessary was MET

- Mr. Powell said if the deck was made into a patio, the requested Natural Features Setback variance would not be as great.

Mr. Powell MOVED to approve the following variances for David Nellist from Articles 3.1.6.E and 3.11.Q of the Zoning Ordinance for Parcel Number 12-34-151-004, identified as 10697 Castlewood Drive, in order to construct a new house that would encroach 14 feet into the required natural features setback and 3 feet into the required east side yard setback. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department**
- **Subject to the placement of the seawall as proposed on the drawing, and on the issuance of an EGLE permit.**

Mr. Powell added the 14' encroachment into the natural feature setbacks was the minimum variance necessary to accomplish what the applicant desired.

Ms. Dehart SUPPORTED, and the motion CARRIED with a roll call vote (4 yes votes). (Powell/yes, Dehart/yes, Spencer/yes, Walz/yes, Schillack/no)

- c. Applicant: Rob Pope
75 Jesswood Lane
White Lake, MI 48386
- Location: **7755 Highland Road**
White Lake, MI 48383 identified as 12-21-276-023
- Request: The applicant requests to install a monument sign within the setback from the road right-of-way and exceeding the allowed size, requiring variances from Article 5.9.J.i.a and Article 5.9.J.i.b.

Chairperson Spencer noted for the record that 11 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Chairperson Spencer asked staff if a sign permit had been applied for or obtained. Staff Planner Quagliata said no, permits were pending the outcome of the variance request.

Mr. Schillack asked staff if the underground utilities affected the proposed sign location. Staff Planner Quagliata said the sign couldn't be moved further south due to the MDOT right-of-way. If the sign were moved too far north, it would be in the parking lot.

Ms. Dehart asked staff if the proposed placement of the sign would restrict ingress/egress vision from Highland Road (M-59). Staff Planner Quagliata said the sign would be in a clear vision triangle.

Mr. Pope was present to speak on his case. He said he dug the hole for the sign because he had rental equipment available. He stated the ingress/egress from the road had clear vision on both sides. He said due to underground work and setbacks from utilities, the proposed location was the only place for the sign. The right-of-way line was right up to the road, and he gave up some property on the east side due to where the line was. He said he couldn't move the sign to the north because he was concerned with large vehicles crossing over the curb and hitting the sign.

Chairperson Spencer asked staff about Mr. Pope's concerns with the sign being damaged if moved further north, and if a monument sign could be built to collapse upon impact. Staff Planner Quagliata said the proposed sign would not break away upon impact, but there were some signs that were constructed to break away upon impact.

Mr. Walz asked staff where the 6' sign height was measured from. Staff Planner Quagliata said for measuring sign height, grade meant the ground where the sign was installed, which must be generally level with the surrounding property as measured within a 10-foot radius from the base of the sign. The sign was being measured 6' from the base of the sign to the top of the sign.

Mr. Powell asked staff if the site had more parking spaces than the ordinance required. Staff Planner Quagliata said the site provided the minimum number of required parking spaces.

Mr. Powell asked the applicant why the sign couldn't be moved further north. Mr. Pope said he was concerned with the cross traffic. Mr. Powell asked the applicant if he knew of traffic that cut the curb. Mr. Pope confirmed.

Mr. Powell asked staff if the applicant was planning on any wall signs. Staff Planner Quagliata confirmed, each tenant would have around a 40 square foot wall sign.

Ms. Dehart asked the applicant if the sign was lighted. Mr. Pope said yes, it would be internally lit and double sided.

Chairperson Spencer opened the public hearing at 9:19 P.M. Seeing no public comment, she closed the public hearing at 9:19 P.M.

Staff Planner Quagliata went through the standards from Article 7.37 from the Clear Zoning Ordinance:

A. Practical Difficulty was NOT met

- Mr. Schillack said he did not see a practical difficulty, and there were ways to protect the sign and lives of drivers travelling down the road.
- Mr. Powell said he did not see a practical difficulty in regards to the setback or the over-sized sign being requested.

- B. Unique Situation was NOT met because Practical Difficulty was NOT met
- C. Not a Self-Created Hardship was NOT met
- D. Substantial Justice was NOT met
 - Mr. Powell said the proposed location would be a problem for the sign.
- E. Minimum Variance Necessary was NOT met because Practical Difficulty was NOT met

Ms. Dehart MOVED to deny the variances requested by Rob Pope for Parcel Number 12-21- 276-023, identified as 7755 Highland Road, due to failure to meet items A, B, C, D, E from Article 7.37 of the Zoning Ordinance.

Mr. Walz SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes) (Dehart/yes, Walz/yes, Powell/yes, Schillack/yes, Spencer/yes)

A 7-minute recess was taken at 9:28 P.M. The ZBA returned from recess at 9:35 P.M.

- d. Applicant: VFW Post 4156 (Gary Schultz)
635 Andrews Street
Commerce Township, MI 48382
- Location: **321 Union Lake Road**
White Lake, MI 48386 identified as 12-26-276-001
- Request: The applicant requests to install a monument sign in a residential zoning district, requiring variances from Article 5.9.I.iii for the size and number of signs. The applicant, under Article 7.36, Powers of Zoning Board of Appeals Concerning Administrative Review and Variances, is also appealing a determination of the Staff Planner to deny a sign permit application to install an electronic message board sign in a residential zoning district.

Chairperson Spencer noted for the record that 56 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Mr. Schillack asked staff the difference between residential and agricultural zoning. Staff Planner Quagliata said Agricultural was residential zoning. Mr. Schillack asked staff about the zoning of the properties around the site. Staff Planner Quagliata said the properties to the east and west were zoned Local Business. Mr. Schillack asked staff if a different zoning would allow for less variances. Staff Planner Quagliata said if the property was zoned Local Business, an electronic sign would be allowed by right.

Chairperson Spencer asked staff if the additional wall sign and temporary sign were placed on the property with permits. Staff Planner Quagliata said there was no sign permit history for the property.

Chairperson Spencer asked staff if the sign requested wasn't allowed for a residentially zoned property. Staff Planner Quagliata confirmed.

Staff Planner Quagliata said when he reviewed the zoning ordinance, the ordinance stated electronic display signs are only permitted as an accessory use in non-residential districts.

Mr. Powell asked staff what the site was master planned for. Staff Planner Quagliata said the property fell into the Public and Quasi-Public category, and there were no future plans for the property outside of its current or similar uses.

Mr. Schultz was present to speak on his case. He said he wasn't sure about the current nonconforming signs, he thought they obtained the proper permits. He said the existing signs did not draw attention to what the VFW was trying to do. Their membership was decreasing, and the electronic sign could help.

Scott Glouger, VFW Post Commander, said the VFW was community oriented, and they helped the youth. A new sign could help share their services and bring more attention to their causes.

Dave Shockling, VFW Quartermaster, said if the new sign was allowed, the two nonconforming ground signs would be removed and the VFW would comply with all setbacks.

Mr. Schillack asked the applicant if they had thought about rezoning. Mr. Schultz said he wasn't sure; rezoning may cause them legal problems.

Chairperson Spencer opened the public hearing at 10:01 P.M. Seeing no public comment, she closed the public hearing at 10:01 P.M.

Ms. Dehart asked staff if the property was spot zoned. Staff Planner Quagliata said no.

Ms. Dehart asked staff if the applicant would consider a non-electronic monument sign. Staff Planner Quagliata said such a sign could be permitted if the VFW removed some or all of the nonconforming signage.

Mr. Powell asked staff if a monument sign where letters could be changed would be allowed. Staff Planner Quagliata confirmed.

Staff Planner Quagliata went through the standards from Article 7.37 from the Clear Zoning Ordinance:

- A. Practical Difficulty was NOT met
 - a. Ms. Dehart said the perceived practical difficulty was the zoning, but the use was unaffected.
- B. Unique Situation was NOT met because Practical Difficulty was NOT met
- C. Not a Self-Created Hardship was NOT met
 - a. Mr. Powell said the ZBA provided the applicant with options for signs that would be more conforming to the zoning ordinance.
- D. Substantial Justice was NOT met
- E. Minimum Variance Necessary was NOT met because a Practical Difficulty was NOT demonstrated

Mr. Walz MOVED move to affirm the decision of the Staff Planner and deny the variances requested by Gary Schultz (VFW) for Parcel Number 12-26-276-001, identified as 321 Union Lake Road, due to failure to meet items A, B, C, D, E from Article 7.37 of the Zoning Ordinance.

Mr. Powell SUPPORTED, and the motion carried with a roll call vote (5 yes votes):
(Walz/yes, Powell/yes, Dehart/yes, Spencer/yes, Schillack/yes)

- e. Applicant: Ken and Karen Pilarski
8315 Cooley Beach Drive
White Lake, MI 48386
- Location: **8315 Cooley Beach Drive**
White Lake, MI 48386 identified as 12-36-452-016
- Request: The applicant requests to construct an addition to a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Side-Yard Setback and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures will be required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 25 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Chairperson Spencer asked staff where the houses adjacent to the applicant's house were. Staff Planner Quagliata said the houses northwest and northeast of the applicant's house were setback closer to the road on their respective lots.

Mr. Schillack asked staff if the current house was remaining. Staff Planner Quagliata confirmed.

Mr. Powell said he spoke with the applicant during his site visit, and the applicant was willing to reduce the roof overhangs over the existing structure to be more compliant with the zoning ordinance.

Mr. and Mrs. Pilarski were present to speak on their case. He said the reason for the attached garage was due to their age and the need for more storage. The existing foundation would be kept, and the roof overhangs would be reduced by half. He added the houses northwest and northeast of his were staggered, so the neighbor's views of the lake would not be affected. The electrical in the house would be upgraded to bring that up to code as well.

Staff Planner Quagliata asked the applicants where the HVAC was going to be. Mr. Pilarski said they would be moved to the street side of the house, in the basement area. The A/C unit was going to be put on the east side of the house. Staff Planner Quagliata said the A/C would need to be moved to an alternative location as mechanical units could not encroach within 5' of a lot line.

Mr. Schillack asked the applicant the status of the existing detached garage. Mr. Pilarski said the existing garage would remain.

Chairperson Spencer opened the public hearing at 10:48 P.M. Seeing no public comment, she closed the public hearing at 10:49 P.M.

Staff Planner Quagliata went through the standards from Article 7.37 from the Clear Zoning Ordinance:

- A. Practical Difficulty was MET
 - Mr. Powell found a practical difficulty with the existing structure, it was nonconforming, and without the requested variances there would be no way to improve or maintain the quality of the structure.
- B. Unique Situation was MET
 - Ms. Dehart said the lot was platted long ago, and was now smaller than the current standards for lots.
- C. Not a Self-Created Hardship was MET
 - Chairperson Spencer said the lot was platted years ago and was no fault of the applicant.
- D. Substantial Justice was MET
 - Mr. Powell said the neighboring properties would not be adversely impacted.
- E. Minimum Variance Necessary was MET
 - Chairperson Spencer said the minimum variances necessary were demonstrated, and the applicant offered to reduce the nonconformity of the existing roof overhangs.

Mr. Powell MOVED to approve the variances requested by Ken and Karen Pilarski from Article 3.1.6.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-36- 452-016, identified as 8315 Cooley Beach Drive, in order to construct an addition and attached garage that would encroach 4 feet into the required east side yard setback and 2.7 feet into the required west side yard setback, and exceed the allowed value of improvements to a nonconforming structure by 818%. A 30-foot variance

from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- An as-built survey shall be required to verify the roof overhang setback from the side lot lines.
- The outside mechanical units shall not be closer than 5' to the side yard property lines.

Mr. Schillack SUPPORTED, and the motion CARRIED with a roll call vote (5 yes votes):
(Powell/yes, Schillack/yes, Dehart/yes, Walz/yes, Spencer/yes)

Other Business

There was no other business.

Adjournment: Mr. Schillack MOTIONED to adjourn the meeting at 11:01 P.M. Ms. Dehart SUPPORTED. All in favor.

Next Meeting Date: April 29, 2021

DRAFT

WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS VIRTUAL SPECIAL MEETING
APRIL 29, 2021

Chairperson Spencer called the special meeting of the White Lake Township Zoning Board of Appeals to order at 6:00 P.M. and led the Pledge of Allegiance. Roll was called:

ROLL CALL: Josephine Spencer – Chairperson, present in White Lake, MI
Dave Walz – Vice Chair, present in White Lake, MI
Mike Powell, present in White Lake, MI
Nik Schillack, present in White Lake, MI
Debby Dehart, present in White Lake, MI

Also Present: Justin Quagliata, Staff Planner
Hannah Micallef, Recording Secretary

Visitors: 0

APPROVAL OF THE AGENDA:

Member Dehart MOTIONED to approve the agenda as presented. Member Walz SUPPORTED. All in favor.

APPROVAL OF MINUTES:

There were no minutes ready for approval.

NEW BUSINESS

- a. Applicant: Creative Custom Builders
7655 Highland Road, Ste 202
Waterford, MI 48327
- Location: 4398 Clare Lane
White Lake, MI 48383 identified as 12-08-251-027
- Request: The applicant requests to construct a single-family house, requiring a variance from Article 3.11.J, Minimum Floor Area to construct a house that does not meet the minimum living space requirement.

Chairperson Spencer noted for the record that 3 owners within 300 feet were notified. 0 letters were received in favor, 1 letter was received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Member Powell asked staff about the minimum floor area requirements. Staff Planner Quagliata said the Township Board recently adopted changes to the Zoning Ordinance that reduced the minimum floor area requirements for all single-family zoning districts.

Member Schillack asked staff if any building permits had been issued for the other lots of Clare Lane. Staff Planner Quagliata said no.

Member Dehart asked staff if the developer of the property created any deed restrictions on the lots. Staff Planner Quagliata said the Township did not enforce deed restrictions.

Jim Veilleux, Creative Custom Builders, was present to speak on his case. He said the house plan was redesigned to extend the roof out 5', and the deck would be completely covered by the roof structure. As designed the house would not be able to stand without the deck. The deck would be wrap around and used as egress and ingress to the house. The house would be setback off the road and tucked into the trees. He stated due to the pandemic, construction costs had gone up and his client was spending more on this house than originally intended.

Member Powell asked the applicant about adding an addition to bring the house into compliance with the minimum standards. Mr. Veilleux said it was considered, but it would be a financial strain on his client.

Mr. Wagner, 1268 Pinecrest Drive, White Lake, the property owner, said he would finish the basement for his son to be able to live with him.

Member Schillack asked staff what would have to be done to the deck to have it considered a part of the house's square footage. Staff Planner Quagliata said the porch would have to be enclosed and heated.

Chairperson Spencer opened the public hearing at 6:33 P.M.

Staff Planner Quagliata read a letter of opposition into the record.

Chairperson Spencer closed the public hearing at 6:36 P.M.

Staff Planner Quagliata went through the standards from Article 7.37 of the ClearZoning Ordinance:

- A. Practical Difficulty was NOT met
 - Chairperson Spencer said since financial hardship was not something the ZBA could take into consideration, there was no practical difficulty demonstrated.
 - Member Powell said the site was two (2) acres, and there was no practical difficulty presented.
- B. Unique Situation was NOT met
 - Member Dehart said since there was no practical difficulty, a unique situation was not demonstrated.
 - Member Powell said the unique situation was personal to the applicant, but not due to the location, lot, or area.
- C. Not a Self-Created Hardship was NOT met

- Member Walz said the applicant could build a house with a larger ground floor area, and it was a self-created hardship.
 - Member Schillack said the ZBA could not consider economic hardships.
- D. Substantial Justice was NOT met
- Member Powell said the property did not prevent the applicant from meeting the requirements found in the Zoning Ordinance.
- E. Minimum Variance Necessary was NOT met
- Chairperson Spencer said there was no practical difficulty.

Member Powell said the ZBA could not grant a variance if the five items from Article 7.37 were not met.

Member Dehart said she was at the Planning Commission meeting when the reduction for the minimum floor area requirements was considered, and the pandemic was taken into account when that change was discussed.

Member Walz MOVED to deny the variances requested by Creative Custom Builders for Parcel Number 12-08-251-027, identified as 4398 Clare Lane, due to the following reason(s): failure to meet the standards A, B, C, D, E from Article 7.37 of the zoning ordinance.

**Member Schillack SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes):
Walz/yes, Schillack/yes, Spencer/yes, Powell/yes, Dehart/yes**

- b.
- | | |
|------------|--|
| Applicant: | Michael Lemon
4400 McKeachie Road
White Lake, MI 48383 |
| Location: | 4400 McKeachie Road
White Lake, MI 48383 identified as 12-08-251-003 |
| Request: | The applicant requests to install a residential swimming pool, requiring variance from Article 5.10, Swimming Pools to install the pool in the front yard. |

Chairperson Spencer noted for the record that 11 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Member Schillack asked staff how soon the building permit was rescinded after issuance. Staff Planner Quagliata said there was a five-day period before the permit was rescinded.

Michael Lemon, 4400 McKeachie Road, was present to speak on his case. He said he called the Township four months ago and was verbally told it would be okay to put the pool in the front yard. He said he would have liked the pool in the rear yard, but there was no room and his well was in the rear yard. The pool would be far off McKeachie Road and not be seen from the road. He said he wanted the pool for his grandchildren.

Member Powell asked the applicant if the circle on his plans between the shop and the house was the well. Mr. Lemon confirmed, and said there was not room for the pool north or south due to the driveway configuration.

Member Powell asked the applicant if there was a basement in the house. Mr. Lemon confirmed.

Member Powell asked the applicant how deep the pool would be in its deepest end. Mr. Lemon said 8'.

Member Powell asked the applicant if he built the house. Mr. Lemon said no.

Chairperson Spencer opened the public hearing at 7:09 P.M. Seeing no public comment, she closed the public hearing at 7:09 P.M.

Staff Planner Quagliata went through the standards from Article 7.37 of the ClearZoning Ordinance:

- A. Practical Difficulty was MET
 - Member Schillack said knowing the well was behind the house, he could not see how the pool could be constructed between the house and the shop.
- B. Unique Situation was MET
 - Member Dehart said the site was different because the house sat far back.
- C. Not a Self-Created Hardship was MET
 - Member Schillack said there was not a self-created hardship because the applicant did not build the house.
- D. Substantial Justice was MET
 - Member Dehart said the pool would not have a negative impact on the surrounding properties.
 - Member Powell said the area chosen was the only logical place to construct the pool.
- E. Minimum Variance Necessary was MET
 - Member Powell said the terrain prevented the pool from being located closer to the house.

Member Dehart MOVED to approve the variance requested by Michael Lemon from Article 5.10 of the Zoning Ordinance for Parcel Number 12-08-251-003, identified as 4400 McKeachie Road, in order to install a swimming pool that would project 124 feet in front of the rear line of the house. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**

- **A site plan drawn to an engineer's scale shall be submitted prior to the issuance of a Building Permit.**

**Member Schillack SUPPORTED and the motion CARRIED with a roll call vote: (5 yes votes):
Dehart/yes, Schillack/yes, Walz/yes, Powell/yes, Spencer/yes**

Other Business

There was no other business.

Adjournment: Member Dehart MOTIONED to adjourn the meeting at 7:24 P.M. Member Walz SUPPORTED. All in favor.

Next Meeting Date: May 27, 2021

DRAFT

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: May 27, 2021

Agenda item: 6a

Appeal Date: May 27, 2021

Applicant: McComb Construction

Address: 1871 Austin Street
Troy, MI 48083

Zoning: R1-D Single Family Residential

Location: 9562 Mandon Road
White Lake, MI 48386

Property Description

The approximately 0.683-acre (29,751.48 square feet) parcel identified as 9562 Mandon Road is located on Cedar Island Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,700 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

Applicant's Proposal

McComb Construction, the applicant, on behalf of property owner Michael Mack, is proposing to demolish the existing house and construct a new house.

Planner's Report

The existing house was built in 1925 (two additions in the 1970s) and is nonconforming because it does not meet the east side yard setback (approximately 6.5 feet). A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due a 27-foot deficiency in lot width (53 feet in width); in the R1-D zoning district the minimum lot width requirement is 80 feet.

The applicant is proposing to demolish the existing house to construct an approximately 3,408 square foot two-story house with an attached two-car garage. The proposed house would be located 7.23 feet from the west property line and 6 feet from the east property line; therefore, a 2.77-foot variance is being requested to encroach into the west side yard setback and a 4-foot variance is being requested to encroach into the east side yard setback. Additionally, the proposed building height is 27.25 feet, which is 2.25 feet beyond the 25-foot maximum building height allowed in the R1-D zoning district. For informational purposes, the roof peak is 35.25 feet in height.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Side yard setback	10 feet	2.77 feet (west) 4 feet (east)	7.23 feet (west) 6 feet (east)
2	Article 3.1.6.E	Maximum building height	25 feet	2.25 feet	27.25 feet
3	Article 3.1.6.E	Minimum lot width	80 feet	27 feet	53 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by McComb Construction from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-35-126-023, identified as 9562 Mandon Road, in order to construct a new house that would exceed the allowed building height by 2.25 feet and encroach 2.77 feet into the required west side yard setback and 4 feet into the required east side yard setback. A 27-foot variance from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.

Denial: I move to deny the variances requested by McComb Construction for Parcel Number 12-35-126-023, identified as 9562 Mandon Road, due to the following reason(s):

Table: I move to table the variance requests of McComb Construction for Parcel Number 12-35-126-023, identified as 9562 Mandon Road, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated April 22, 2021.
2. Property Owner's written statement dated April 23, 2021.
3. Plot plan dated April 22, 2021.
4. House plans dated April 9, 2021.
5. Letter of denial from the Building Department dated April 26, 2021.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

RECEIVED

CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION

APR 22 2021

BUILDING DEPARTMENT

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: McLomb Const Co, Inc PHONE: 248-528-0016

ADDRESS: 1871 Austin St. Troy MI. 48063

APPLICANT'S EMAIL ADDRESS: MCC1871@gmail.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 9567 Meadow PARCEL # 12 35-126-023

CURRENT ZONING: _____ PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISITING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

PAID 4/16/21

CASH CHECK# _____

APR 22 2021

TREASURER
CHARTER TWP OF WHITE LAKE

APPLICATION FEE: 385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: [Signature] DATE: 4/22/21

Michael John Mack
9562 Mandon Road
White Lake, MI 48386
269-598-6428
mmack84@yahoo.com

RECEIVED
APR 22 2021

COMMUNITY
DEVELOPMENT
DEPARTMENT

April 23, 2021

To whom it may concern:

My name is Michael Mack and I live at 9562 Mandon Road. I am married with two young children and two dogs. We love the neighborhood we live in and living on Cedar Island Lake. In our house currently we only have one bathroom and three bedrooms for four people. The house is an old lake cottage that has had two additions built onto it in the 1970s. The three different sections of the house have three different levels and these different levels make it more difficult for our kids as well as our aging parents to negotiate. The house has not had any significant work or updating done to it since the 1970s additions and is in dire need of extensive renovations and repairs.

Having one bathroom for two adults and two young children makes bathroom needs or showering problematic. Frequently the young children cannot wait for their turn for someone to finish or they will have an accident. This also makes entertaining friends and family difficult because with only one bathroom for the aforementioned reasons.

The three bedrooms are spread out on the main level which presents some safety and security concerns for us. With the bedrooms being spread out we cannot always hear if one of the children has a problem. Additionally there are some security concerns as the bedrooms are easily accessible from outside via the windows.

In the main part of the house we do not have much space for the kids and dogs to play, as well as for the adults to have their space. Working as an Airline Pilot my job requires frequent studying and paperwork, not having a quiet and separate room away from the children and dogs makes this difficult. This will become more of an issue in the future when our children begin requiring room for their homework and computers.

Because of the sometimes frigid climate in Michigan, it can be a burden to get the kids bundled up to get in the car that is outside in the cold, covered in snow and ice. This is also a burden for me leaving very early in the morning for work and I have to drag my suitcases through the snow on the driveway. Additionally, since I frequently travel for work, our cars being in the garage would make it more difficult for someone with evil intentions to make note of our movements and who is home and when.

With all of these considerations and the need for extensive renovations we have determined it would be more feasible and more cost effective to build a new house that solves these problems. Building a new house solves this by moving all of the bedrooms upstairs for the aforementioned security reasons with 2 bathrooms upstairs for the kids and us to use. The new design provides for a half bath on the main level that can be used for entertaining. The new house would also have an attached two car garage and an office and separate play room in addition to the family room. We also think a walkout basement would provide an additional area in which my wife and I or the children could entertain friends or family as well as storage for belongings. The basement would also add an additional level of safety by providing a safe location for the family in the event of a tornado that while rare, can occur in Michigan.

With these considerations, we believe that building a new home on our existing property will help us with our growing family and allow us to stay in an area that we like that is also close to friends and family. We hope you will grant us the variances to accomplish this. Thank you.

Respectfully,

Michael Mack

RECEIVED

APR 22 2021

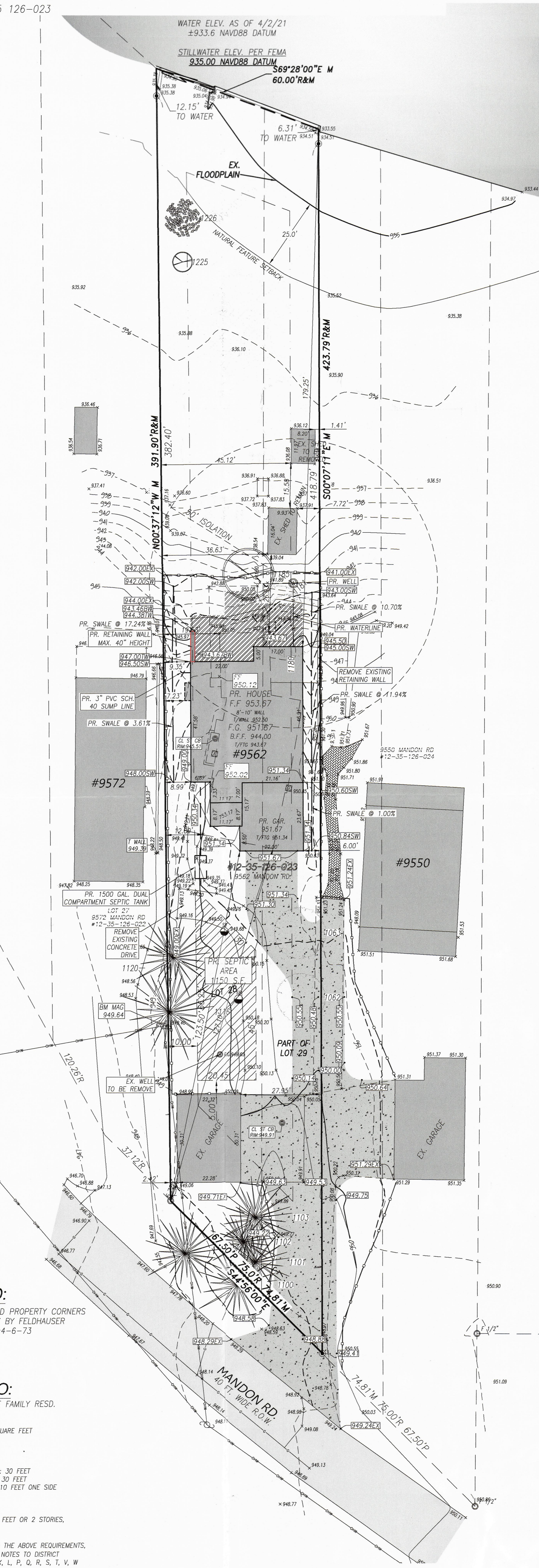
COMMUNITY
DEVELOPMENT
DEPARTMENT

PLOT PLAN

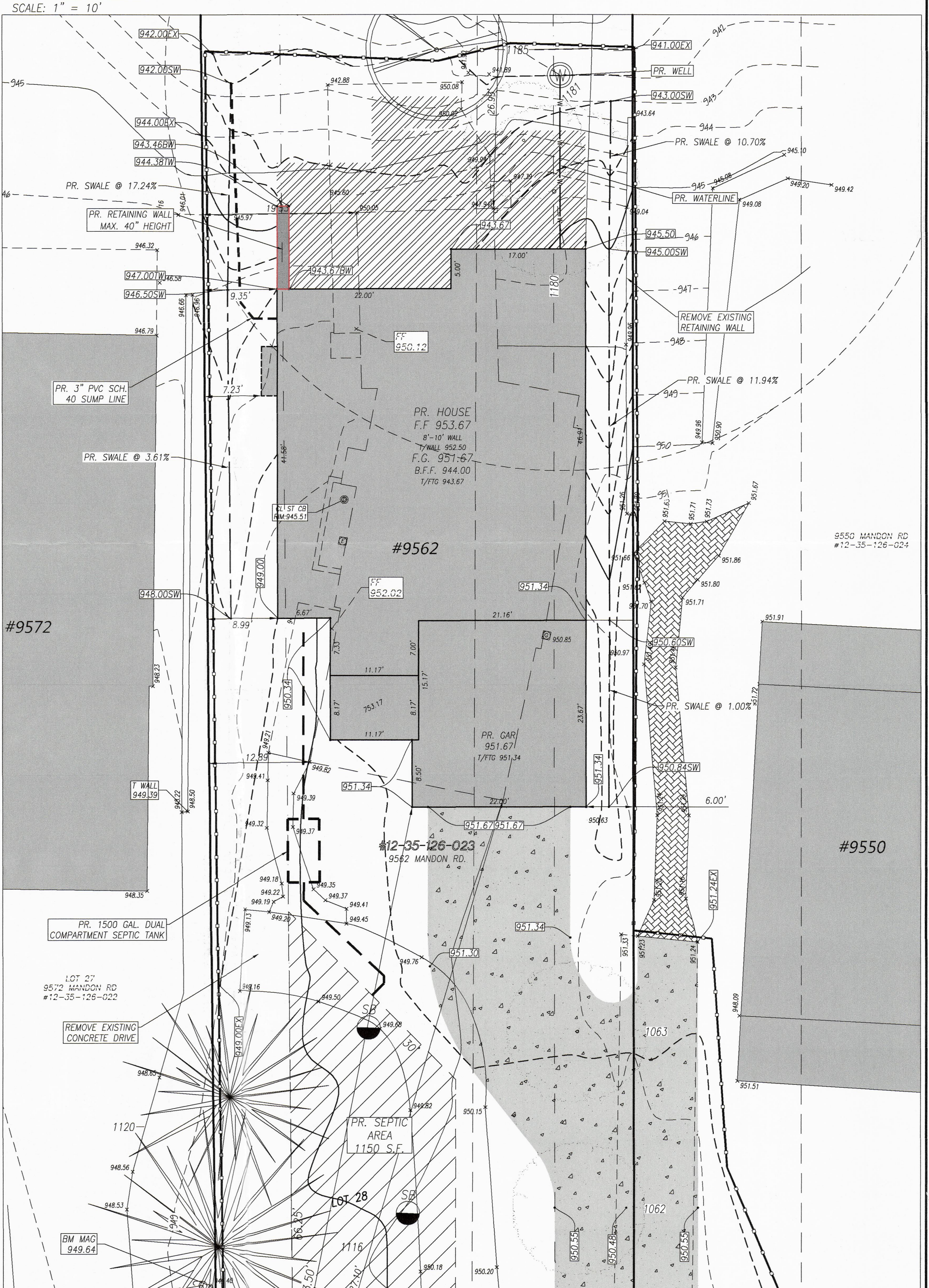
LOT 28 AND THE WEST 1/2 OF LOT 29 OF "CEDAR LAKE PARK" A SUBDIVISION OF PART OF THE E. 1/2 OF THE N.W. 1/4 OF SECTION 35, T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.12 OF PLATS, P.35, OAKLAND COUNTY RECORDS.
ADDRESS: 9562 MANDON ROAD
PARCEL ID#: 12-35-126-023

SCALE: 1" = 20'
THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE POLICY OR DEED THEREFORE, ALL EASEMENT OF RECORD AND OTHER FACTORS RELEVANT TO TITLE MAY NOT BE SHOWN. CLIENT PROVIDED DESCRIPTION FOR PROPERTY.

TREE TABLE		
#	DESC.	ELEV.
1062	17" PINE	950.50
1063	18" PINE	950.94
1099	14" PINE	948.44
1100	15" PINE	948.91
1101	13" PINE	949.88
1102	12" PINE	949.78
1103	14" PINE	948.84
1116	17" PINE	949.45
1120	14" PINE	949.21
1180	22" OAK	948.92
1181	15" MAPLE	946.42
1185	18" MAPLE	942.09
1225	7" MAPLE	935.65
1226	13" CRAB APPLE	935.70



HOUSE DETAIL:



SURVEY INFO:

SURVEY BASED ON FOUND PROPERTY CORNERS AND LINES OF A SURVEY BY FELDBAUSER ASSOCIATES, INC., DATED 4-6-73

ZONING INFO:

LOT ZONING: R1D SINGLE FAMILY RESD.

LOT SIZE:
MINIMUM LOT AREA: 12,000 SQUARE FEET
MINIMUM LOT WIDTH: 80 FEET
MAXIMUM LOT COVERAGE: 20%

SETBACKS:
MINIMUM FRONT YARD SETBACK: 30 FEET
MINIMUM REAR YARD SETBACK: 30 FEET
MINIMUM SIDE YARD SETBACK: 10 FEET ONE SIDE
20 FEET TOTAL OF TWO SIDES

BUILDING HEIGHT:
MAXIMUM BUILDING HEIGHT: 25 FEET OR 2 STORIES, WHICHEVER IS LESS

NOTES FOR ADDITIONS TO THE ABOVE REQUIREMENTS. PLEASE REFER TO §3.11 NOTES TO DISTRICT STANDARDS: A, D, F, J, K, L, P, Q, R, S, T, V, W

BENCHMARK:

BM: MAG NAIL IN THE EAST FACE OF UTILITY POLE; LOCATED JUST WEST OF THE PROPERTY LINE BETWEEN THE GARAGE AND HOUSE.
ELEVATION: 949.64 NAVD88 DATUM

RECEIVED
APR 22 2021
BUILDING DEPARTMENT

Soil Borings (1-2)

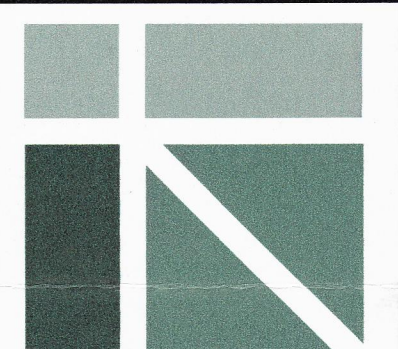
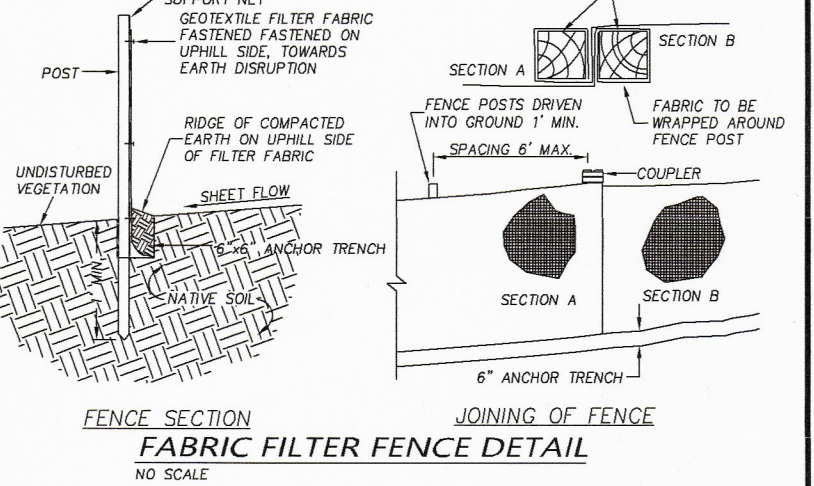
FROM: 2/10/2021

DEPTH	1	2
1	TOPSOIL	TOPSOIL
2	LOAMY SAND	LOAMY SAND
3		
4		
5	SAND	SAND
6		
7		
8		

NOTES:

- INSTALL SOIL EROSION CONTROLS PRIOR TO CONSTRUCTION.
- COMPLETE ALL EARTH DISRUPTION.
- RIGHT-OF-WAY, ALL SWALE AREAS, ALL SLOPES GREATER THAN 1 ON 5 AND 10' AROUND ALL STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
- AFTER PERMANENT EARTH STABILIZATION IS COMPLETE, REMOVE EROSION CONTROL MEASURES.
- SOIL EROSION CONTROL WILL BE MAINTAINED WEEKLY AND AFTER ANY MAJOR STORM EVENT
- SUMP LEAD TO BE CONNECTED TO AN APPROVED DRAINAGE SYSTEM.
- DRIVE APPROACH NOT TO CROSS PROPERTY LINE PROJECTED.

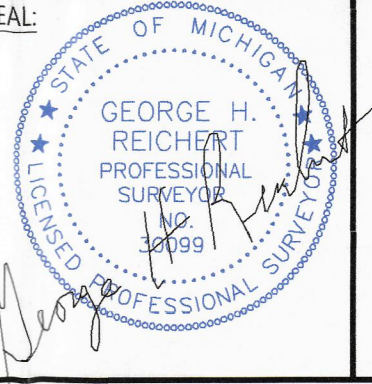
START DAY	END DAY	SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION
1	2	INSTALL SILT FENCE AS SHOWN ON PLAN
3	10	CLEAR AND ROUGH GRADE SITE
10	25	EXCAVATE FOR BASEMENT, INSTALL FOOTING AND WALLS
25	45	INSTALL UTILITY & BACKFILL BASEMENT
46	180	INSTALL ALL PUBLIC UTILITY
180	180	COMPLETE BUILDING CONSTRUCTION
130	135	FINISH GRADE AND PAVE DRIVE
135	135	ESTABLISH VEGETATION ON ALL DISTURBED GROUND, SEED AND OR SOD. REMOVE ALL SOIL EROSION CONTROL MEASURES



LEGEND:
● FOUND IRON
○ SET IRON
R RECORD DISTANCE
M MEASURED DISTANCE
P PLAT DISTANCE

EXISTING GRAVEL
EXISTING PAVER STONE
EXISTING BUILDING
EXISTING CONCRETE
EXISTING ASPHALT
EXISTING LANDSCAPED AREA
EX. MAJOR CONTOURS
EX. MINOR CONTOURS
EXISTING STORM SEWER
EXISTING SANITARY SEWER
EXISTING WATERMAIN
EXISTING OVERHEAD WIRES
EXISTING FENCE
EXISTING UTILITY POLE
EXISTING WATER SHUT OFF
EXISTING GATE VALVE
EXISTING HYDRANT
EXISTING WELL
EXISTING GAS SHUT OFF
EXISTING SANITARY STRUCTURE
EXISTING STORM STRUCTURE
EXISTING DOWN SPOUT
EXISTING UTILITY PEDESTAL
EXISTING BOULDER RET. WALL
EXISTING GRADE
PROPOSED GRADE
PROPOSED CONCRETE
PROPOSED BUILDING
PROPOSED SILT FENCE
PROP. DRAINAGE ARROW
PROP. MAJOR CONTOURS
PROP. MINOR CONTOURS

NO.	DATE	DESCRIPTION	BY	SEAL



PREPARED FOR:
MICHAEL MACK
9562 MANDON RD.
WHITE LAKE, MI 48386
(269) 598-6428

PLOT PLAN

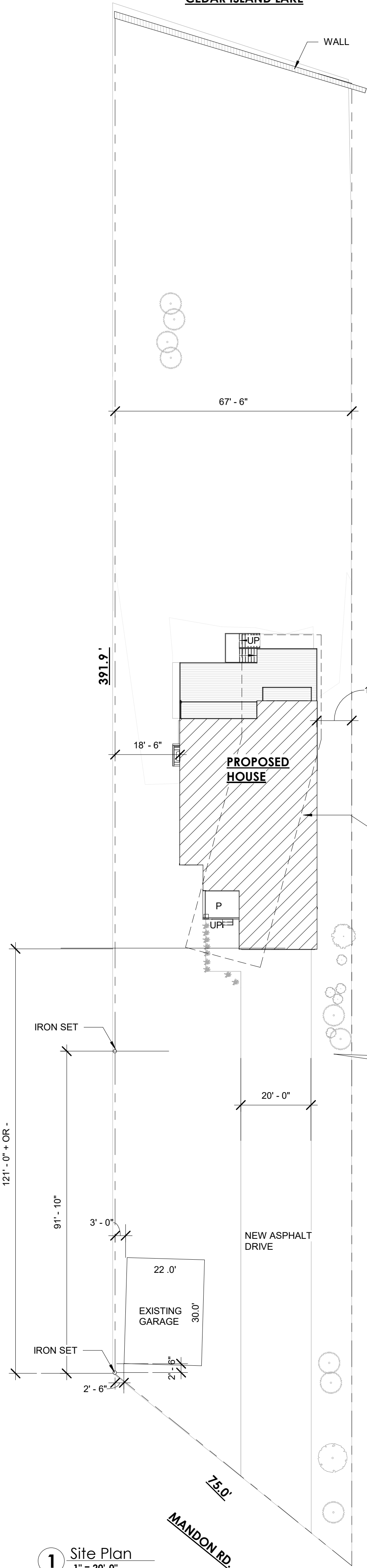
LOT 28 AND THE WEST 1/2 OF LOT 27 OF "CEDAR LAKE PARK" A SUBDIVISION OF PART OF THE E. 1/2 OF THE N.W. 1/4 OF SECTION 35, T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.12 OF PLATS, P.35, OAKLAND COUNTY RECORDS.
ADDRESS: 9562 MANDON ROAD
PARCEL ID#: 12-35-126-023

DATE: 4/22/21 SCALE: 1"=20' DRAWN: B.G.R.
JOB # 21-030PP SHEET: 1 OF 1 CHECK: G.H.R.

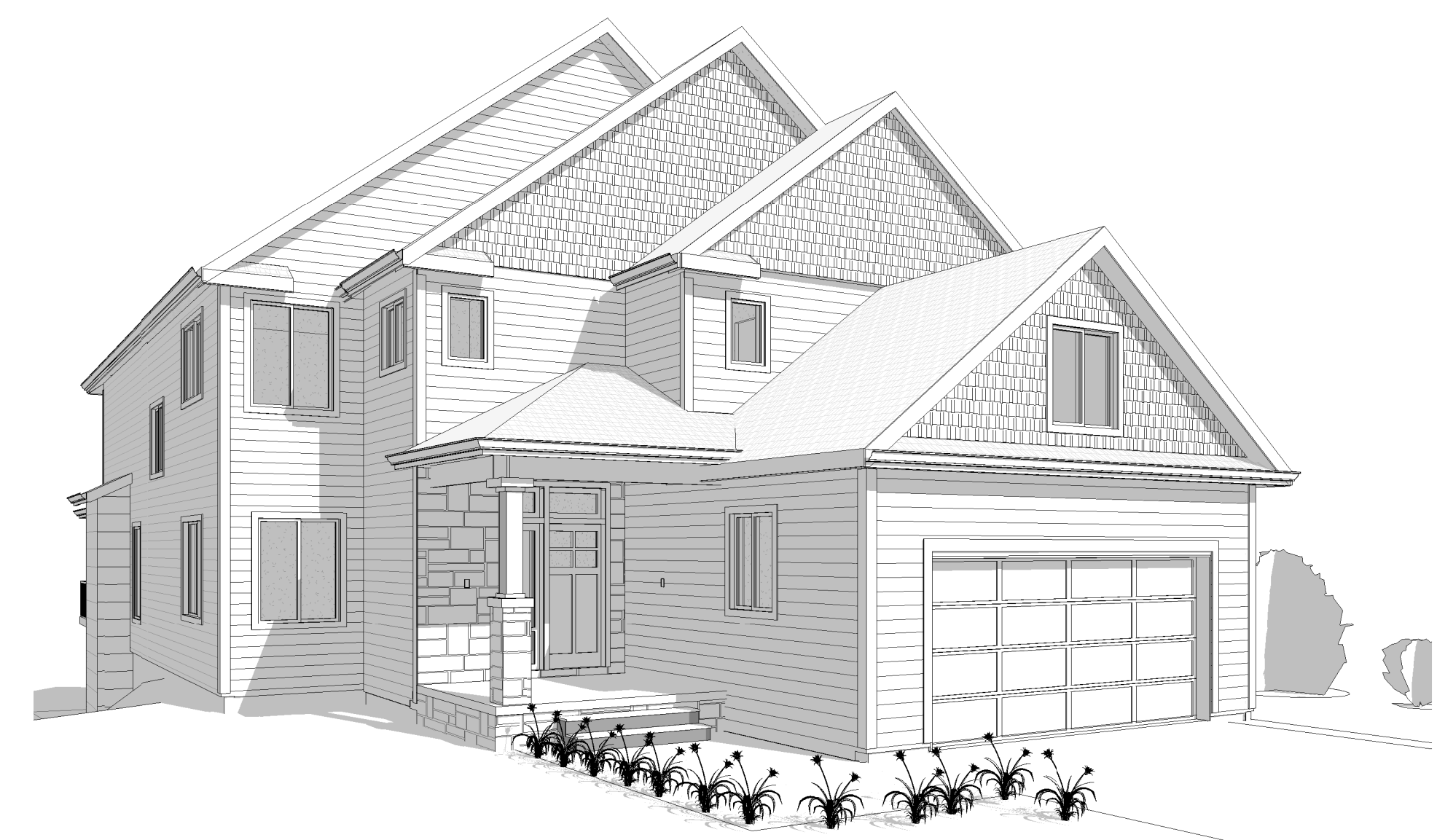
3 FULL WORKING DAYS BEFORE YOU DIG CALL

811
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MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

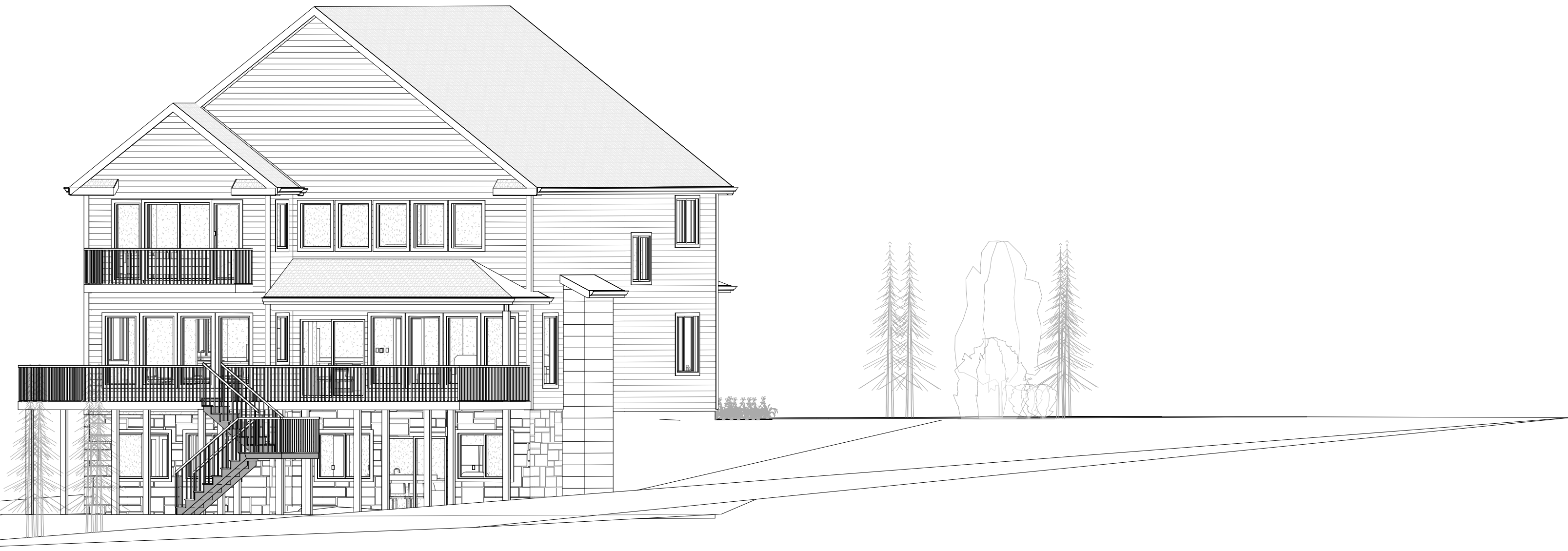
CEDAR ISLAND LAKE



LOT DESCRIPTION: LOT 28 AND W 1/2 OF LOT 29 "CEDAR LAKE PARK" A SUB'N OF E. 1/2 OF N.W. 1/4 OF SECD. 35 T.3N., R.SE., WHITE LAKE TWP. OAKLAND CO., MICHIGAN.



3 3D View 2



4 {3D} Copy 1

PRESCRIPTIVE PATH	
Fenestration U-factor	.30
Ceiling R-Value	38
Wood Frame Wall R-Value	21
Basement wall	10

General notes
1/4" = 1'-0"

- MINIMUM UNFORMLY DISTRIBUTED LIVE LOADS SHALL COMPLY WITH MICHIGAN RESIDENCE CODE 2015
- EGRESS-EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE IN ACCORDANCE WITH MICHIGAN BUILDING CODE 2015 SEC. R.310 THE WINDOW SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR. THE WINDOW, WHEN OPEN SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20 INCHES AND MINIMUM NET CLEAR OPENING HEIGHT OF AT LEAST 24 INCHES.
- ALL GLASS WITHIN 24" OF A DOOR SHALL BE APPROVED SAFTY GLASS
- ALL GLASS ADJACENT TO TUB AND SHOWER AREA SHALL BE SAFTY GLASS
- ALL GLAZING MORE THAN 9 SQUARE FEET ANS 18 INCHES OR LESS ABOVE ADJACENT WALKING SURFACES SHALL BE APPROVED SAFTY GLASS.
- APPROVED SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE SECTION R-313.1
- PRIVATE GARAGES LOCATED BENEATH OR ADJACENT TO HABITABLE ROOMS SHALL HAVE WALL ASSEMBLIES AND FLOOR-CEILING ASSEMBLIES SEPARATING GARAGE SPACE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE RESISTANCE RATING DOOR PENETRATING RATED WALL CONSTRUCTION SHALL BE 1/3-HOUR RATED ASSEMBLY WITH DOOR CLOSER.
- MAINTAIN ONE-HOUR FIRE SEPARATION BETWEEN GARAGE AND LIVING SPACES.
- FRAMING COMPONENTS IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED
- EXTERIOR FOOTINGS AND FOUNDATIONS SHALL EXTEND 42" (MIN) BELOW FINISH GRADE AND SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL.
- SILL PLATES OR FLOOR SYSTEM SHALL BE ANCHORED TO THE FOUNDATION WALL WITH 1/2" DIAMETER BOLTS EMBEDDED 8" INTO CONCRETE AND 15" INTO BLOCK AT 6'-0 O.C. AND NOT MORE THAN 12" FROM CORNERS OR METAL STRAPS AT 3'-0" ON CENTER.
- FOUNDATION DRAINAGE SHALL BE PROVIDED CONSISTING OF 4" PVC DRAIN TILE WITH FILTER FABRIC IN 12" PEA GRAVEL AROUND ALL FOUNDATIONS ENCLOSEING HABITABLE SPACES BELOW GRADE IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE SEC. 405.
- A 6-MIL POLYETHYLENE MOISTURE BARRIER SHALL BE INSTALLED UNDER ALL CONCRETE SLABS IN HABITABLE SPACES AND IN ALL CRAWL SPACES.
- EXPOSED FOUNDATION INSULATION SHALL BE DOW "BLUE BOARD" OR APPROVED EQUAL.
- ROOF VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015
- MECHANICAL MEANS OF VENTILATION SHALL BE PROVIDED IN ALL BATHROOMS WITHOUT AN OPERABLE WINDOW.
- ACCESS TO CRAWL SPACES SHALL BE PROVIDED (MINIMUM 18"x24").
- ACCESS TO ATTICS HAVING A CLEAR HEIGHT OVER 30" SHALL BE PROVIDED (MINIMUM 22"x30").
- ALL STRUCTURAL FRAMING SHALL HAVE DIRECT BEARING BELOW OR USE APPROVED METAL HANGERS.
- MAINTAIN 2" CLEARANCE FROM ALL MASONRY CHIMNEYS AND FIREPLACES TO COMBUSTIBLE MATERIAL.
- FIREPLACES HEARTHIS TO BE CONSTRUCTED WITH NON-COMBUSTIBLE MATERIAL. THE HEARTH SHALL EXTEND OUT 20" BEYOND OPENING AND 12" OVER EACH SIDE OF OPENING.
- DOOR LEADING INTO HOUSE FROM GARAGE SHALL HAVE DOOR SILLS MINIMUM 4" ABOVE GARAGE FLOOR.
- FIRESTOPPING SHALL BE IN SUCH PLACES AS STUD SPACES, STAIRS, FLOOR, CEILING DROPS, ETC.
- DO NOT SCALE DRAWINGS, USE CALCULATED DIMENSIONS ONLY.
- THESE PLANS REPRESENT A GENERAL ARRANGEMENT. DIMENSIONS MAY VARY AND SHOULD BE DETERMINED ON SITE BY BUILDER AND HOME OWNER
- SOIL BEARING CAPACITY OF 2500 P.S.F.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THEIR WORK

CONTRACTOR

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN ANY OTHER WAY WITHOUT

PROPOSED HOUSE FOR
Mike and Lindsey Mack
9562 Mandon
White Lake, Mi.

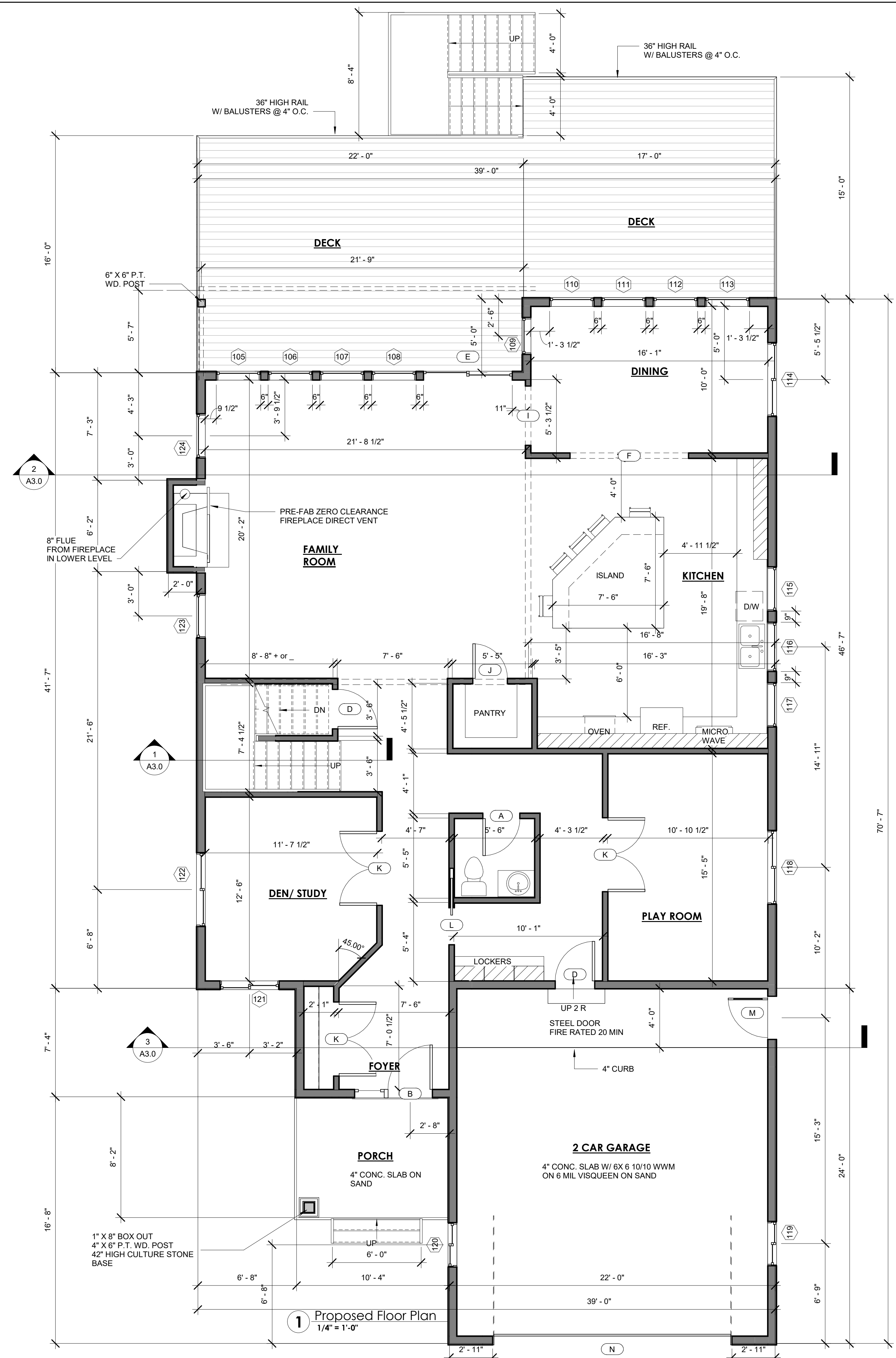
A I
B D

DENNIS BERRY AND ASSOCIATES
RESIDENTIAL DESIGNING / PLANNING
CERTIFIED BUILDING DESIGNER
MEMBER AMERICAN INSTITUTE
OF BUILDING DESIGNERS
PH: 1-313-407-8027
FAX: 1-720-4756-7644
EMAIL: dberry412@gmail.com
WATERFORD, MI 48327

CERTIFIED PROFESSIONAL BUILDING DESIGNER
NATIONAL BOARD OF
BUILDING DESIGNERS

Sheet List	
Sheet Name	SHEET NO.
Site Plan	A0.1
First Floor Plan	A1.1
Second Floor Plan	A1.2
Foundation Plan	A1.3
Roof and 2 nd Floor Framing	A1.4
Elevations	A2.0
Elevations	A2.1
Building Section 1,2 and 3	A3.0
Electrical Plan	E1.1

Site Plan
Date 4-9-2021
Sheet
A0.1



1808 SQ. FT. MAIN FLOOR
1600 SQ. FT. UPPER LEVEL
3408 SQ. FT. TOTAL

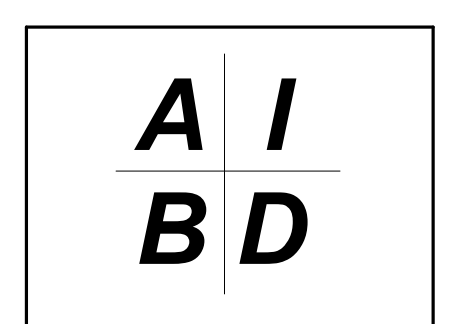
1 Proposed Floor Plan
 1/4" = 1'-0"

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THEIR WORK

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CONTRACTOR

PROPOSED HOUSE FOR
 Mike and Lindsey Mack
 9562 Mandon
 White Lake, Mi.



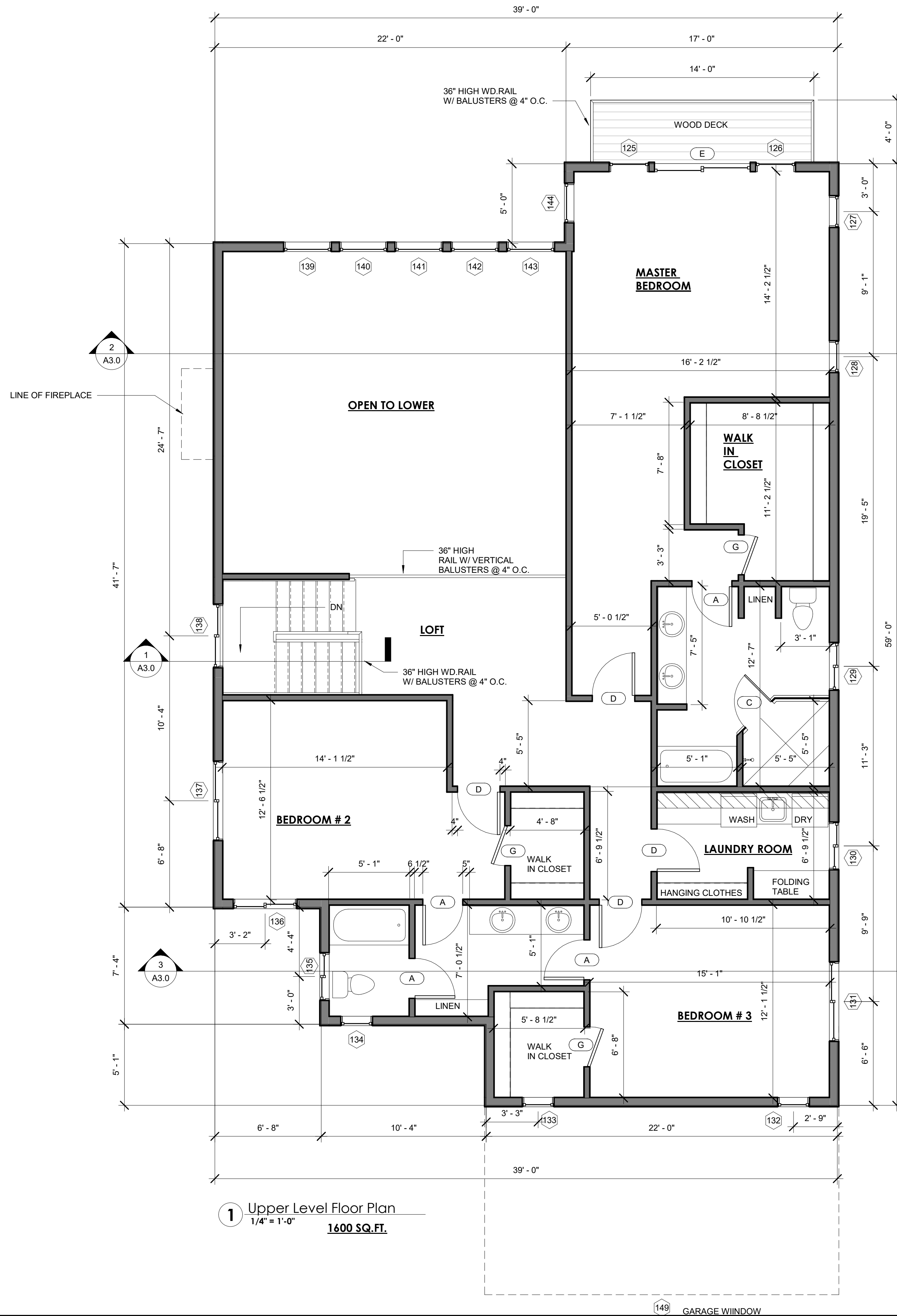
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 FAX 1-720-4756-7644
 EMAIL - dberry412@gmail.com
 WATERFORD, MI. 48327



First Floor Plan
Date 4-9-2021
Sheet
A1.1

Window Schedule					
Mark	Count	Height	Width	Type	Comments
105	1	6'-0"	3'-0"	tempered low e	csms
106	1	6'-0"	3'-0"	tempered low e	csms
107	1	6'-0"	3'-0"	tempered low e	csms
108	1	6'-0"	3'-0"	tempered low e	csms
109	1	4'-0"	2'-6"	low e	csms
110	1	6'-0"	3'-0"	tempered low e	csms
111	1	6'-0"	3'-0"	tempered low e	csms
112	1	6'-0"	3'-0"	tempered low e	csms
113	1	6'-0"	3'-0"	tempered low e	csms
114	1	4'-0"	5'-0"	tempered low e	Slider
115	1	3'-4"	3'-0"	low e	csms
116	1	3'-4"	3'-4"	low e	fixed
117	1	3'-4"	3'-0"	low e	csms
118	1	4'-0"	5'-0"	low e	Slider
119	1	4'-0"	3'-0"	low e	Slider
120	1	4'-0"	3'-0"	low e	Slider
121	1	5'-0"	4'-0"	low e	Slider
122	1	5'-0"	5'-0"	low e	Slider
123	1	6'-0"	3'-0"	tempered low e	csms
124	1	6'-0"	3'-0"	tempered low e	csms
125	1	6'-8"	2'-6"	tempered low e	fixed
126	1	6'-8"	2'-6"	tempered low e	fixed
127	1	4'-0"	2'-0"	low e	csms
128	1	4'-0"	2'-0"	low e	csms
129	1	3'-6"	3'-0"	tempered low e	Slider
130	1	3'-6"	3'-0"	low e	Slider
131	1	4'-0"	5'-0"	low e	Slider
132	1	3'-0"	2'-0"	low e	csms
133	1	3'-0"	2'-0"	low e	csms
134	1	3'-0"	2'-0"	low e	csms
135	1	3'-0"	3'-0"	low e	Slider
136	1	5'-0"	4'-0"	low e	Slider
137	1	4'-0"	5'-0"	low e	Slider
138	1	4'-0"	4'-0"	tempered low e	Slider
139	1	4'-0"	3'-0"	low e	fixed
140	1	4'-0"	3'-0"	low e	fixed
141	1	4'-0"	3'-0"	low e	fixed
142	1	4'-0"	3'-0"	low e	fixed
143	1	4'-0"	3'-0"	low e	fixed
144	1	4'-0"	2'-6"	low e	csms
145	1	4'-0"	5'-0"	low e	Slider
146	1	4'-0"	5'-0"	low e	Slider
147	1	4'-0"	5'-0"	low e	Slider
148	1	4'-0"	5'-0"	low e	Slider
149	1	4'-0"	4'-0"	low e	Slider
150	1	4'-0"	4'-0"	low e	Slider

Door Schedule				
Door Type	Count	Width	Height	Description
A	7	2'-6"	6'-8"	
B	1	3'-0"	6'-8"	FRONT ENTRY DOOR
C	1	2'-4"	6'-8"	GLASS SHOWER DOOR
D	8	2'-8"	6'-8"	
E	7		6'-8"	
F	1	8'-0"	0'-0"	8 FT ARCH WAY
G	3	2'-6"	6'-8"	CLOSET DOOR
I	1	4'-0"	0'-0"	4 FT. ARCH WAY
J	1	2'-4"	6'-8"	PANTRY DOOR
K	3	5'-0"	6'-8"	2 - 30" X 80" DBL DOOR
L	1	2'-6"	6'-8"	POCKET DOOR
M	2		6'-8"	
N	1	16'-0"	7'-0"	16 FT X 7 FT. GARAGE DOOR



1 Upper Level Floor Plan
1/4" = 1'-0"
1600 SQ. FT.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THEIR WORK.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN ANY OTHER WAY WITHOUT

CONTRACTOR

PROPOSED HOUSE FOR
Mike and Lindsey Mack
9562 Mandon
White Lake, Mi.

A I
B D

DENNIS BERRY AND ASSOCIATES

RESIDENTIAL DESIGNING / PLANNING
CERTIFIED BUILDING DESIGNER
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EMAIL - dberry412@gmail.com
WATERFORD, MI. 48327

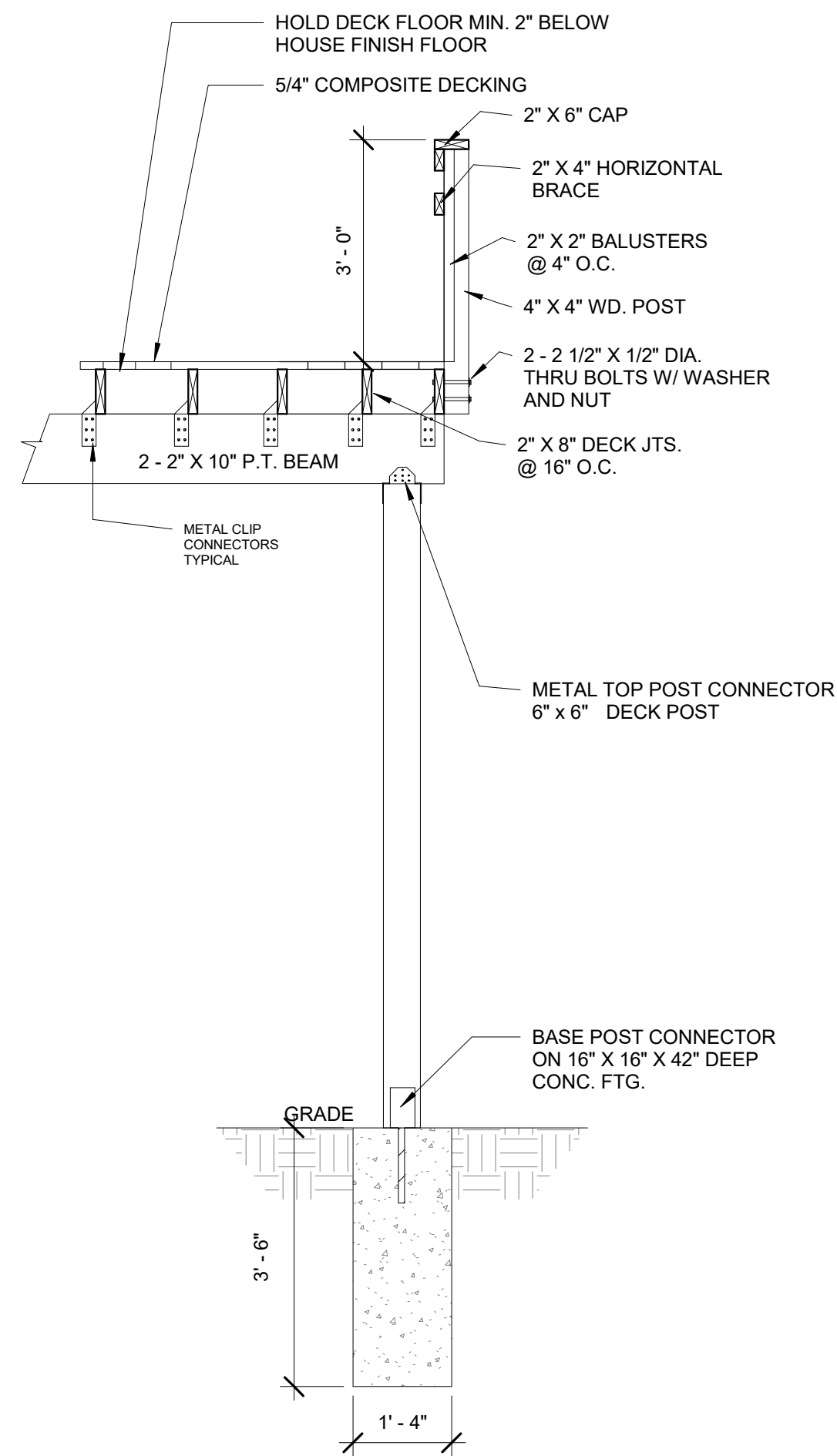


Second Floor Plan

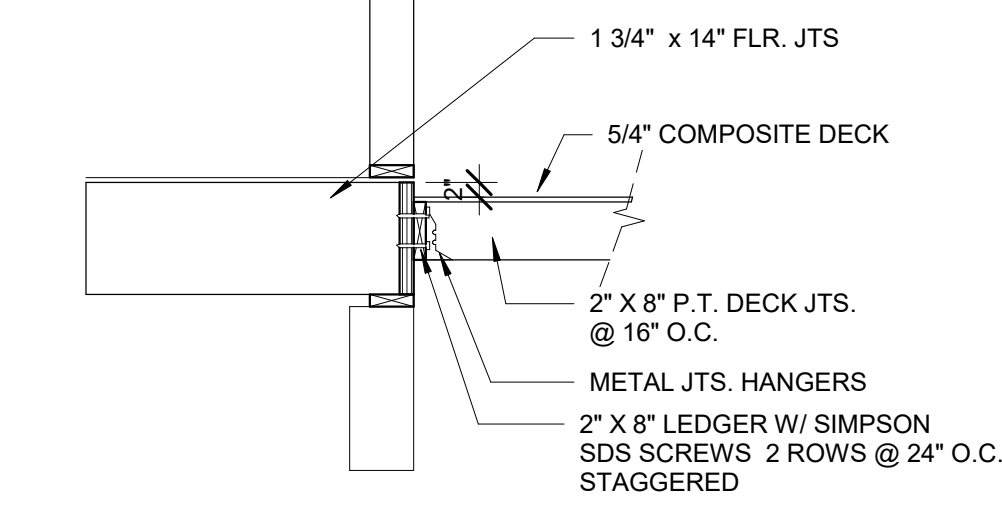
Date 4-9-2021

Sheet

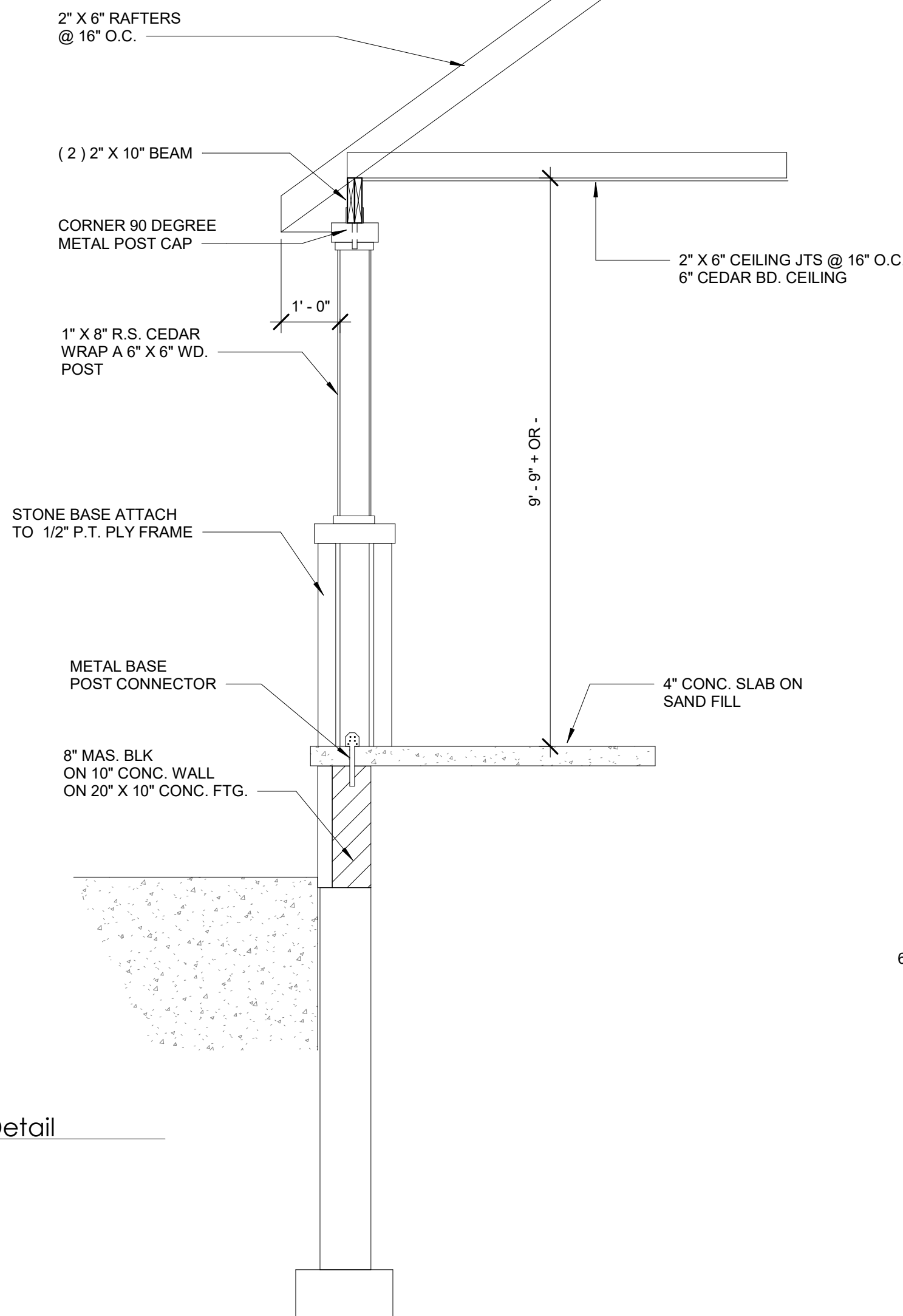
A1.2



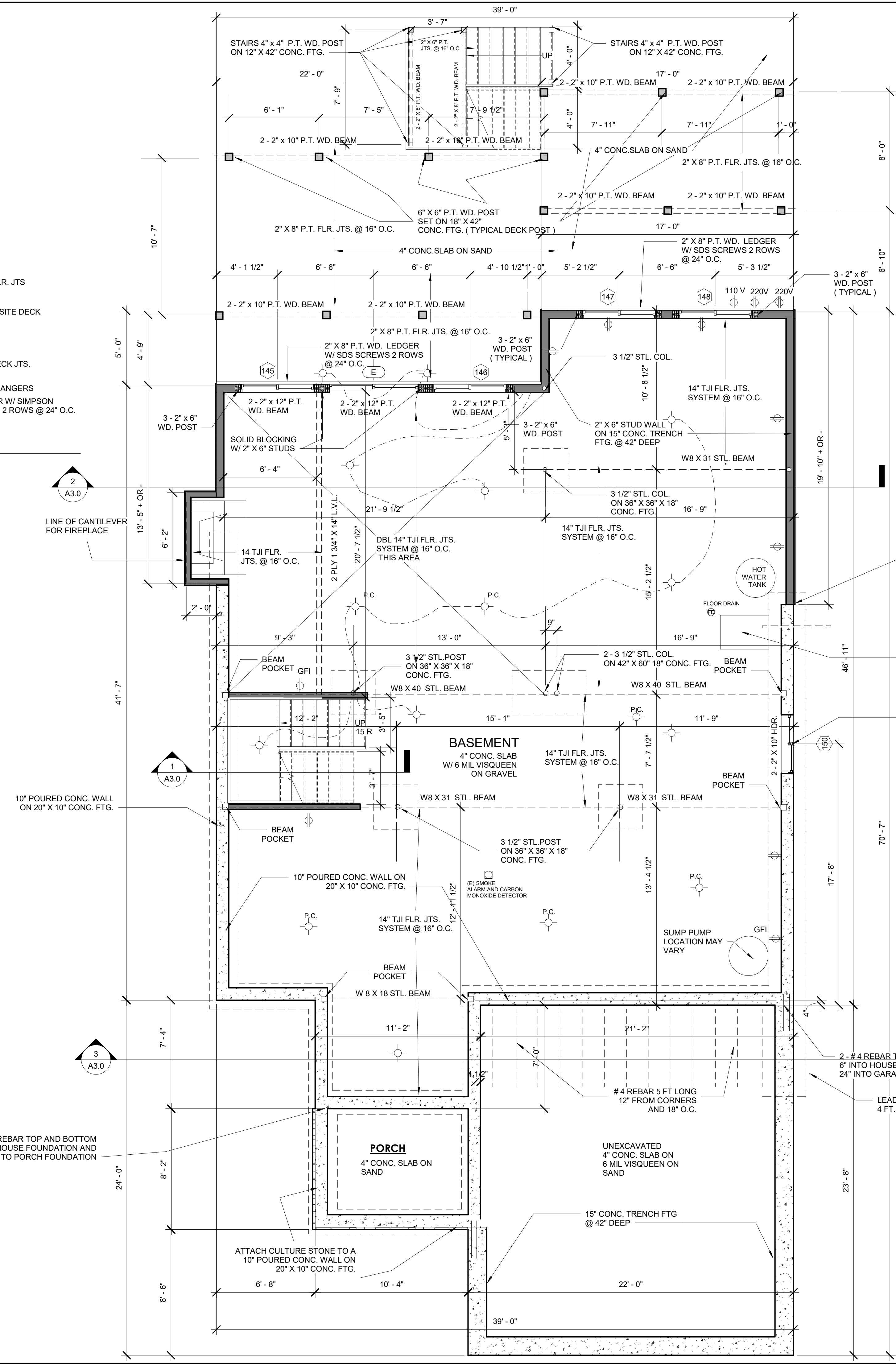
3 Deck Section
1/2" = 1'-0"



2 Deck Attachment to house
1/2" = 1'-0"



4 Porch Post Detail
1/2" = 1'-0"



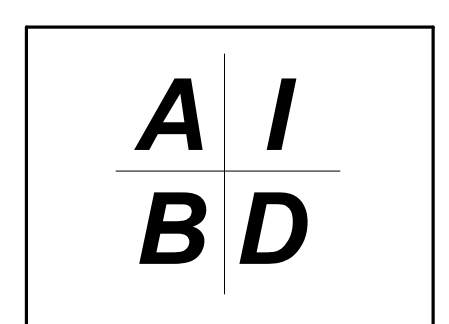
1 Basement Plan
1/4" = 1'-0"

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9562 Mandon
White Lake, Mi.



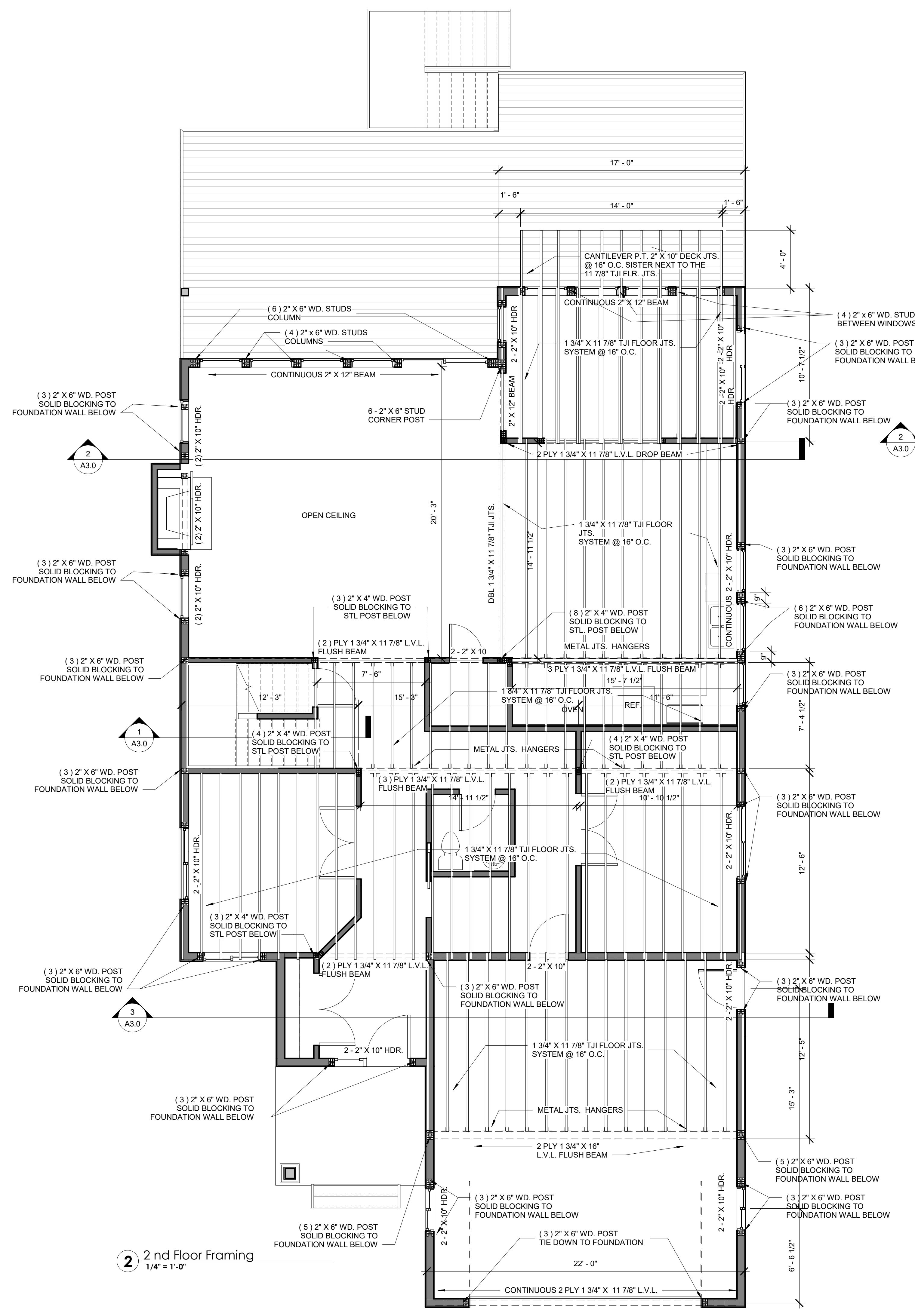
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WATERFORD, MI 48327



Foundation Plan
Date 4-9-2021
Sheet
A1.3



2 2nd Floor Framing
1/4" = 1'-0"



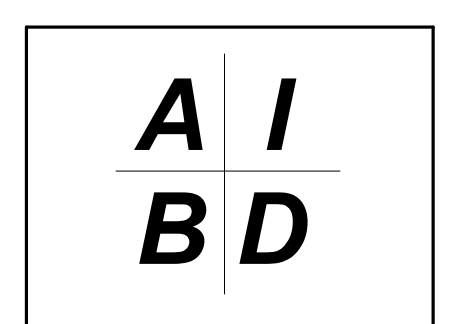
1 Roof Framing Plan
1/4" = 1'-0"

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CONTRACTOR

PROPOSED HOUSE FOR
Mike and Lindsey Mack
9562 Mandon
White Lake, Mi.



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Roof and 2nd Floor Framing
Date 4-9-2021

Sheet
A1.4

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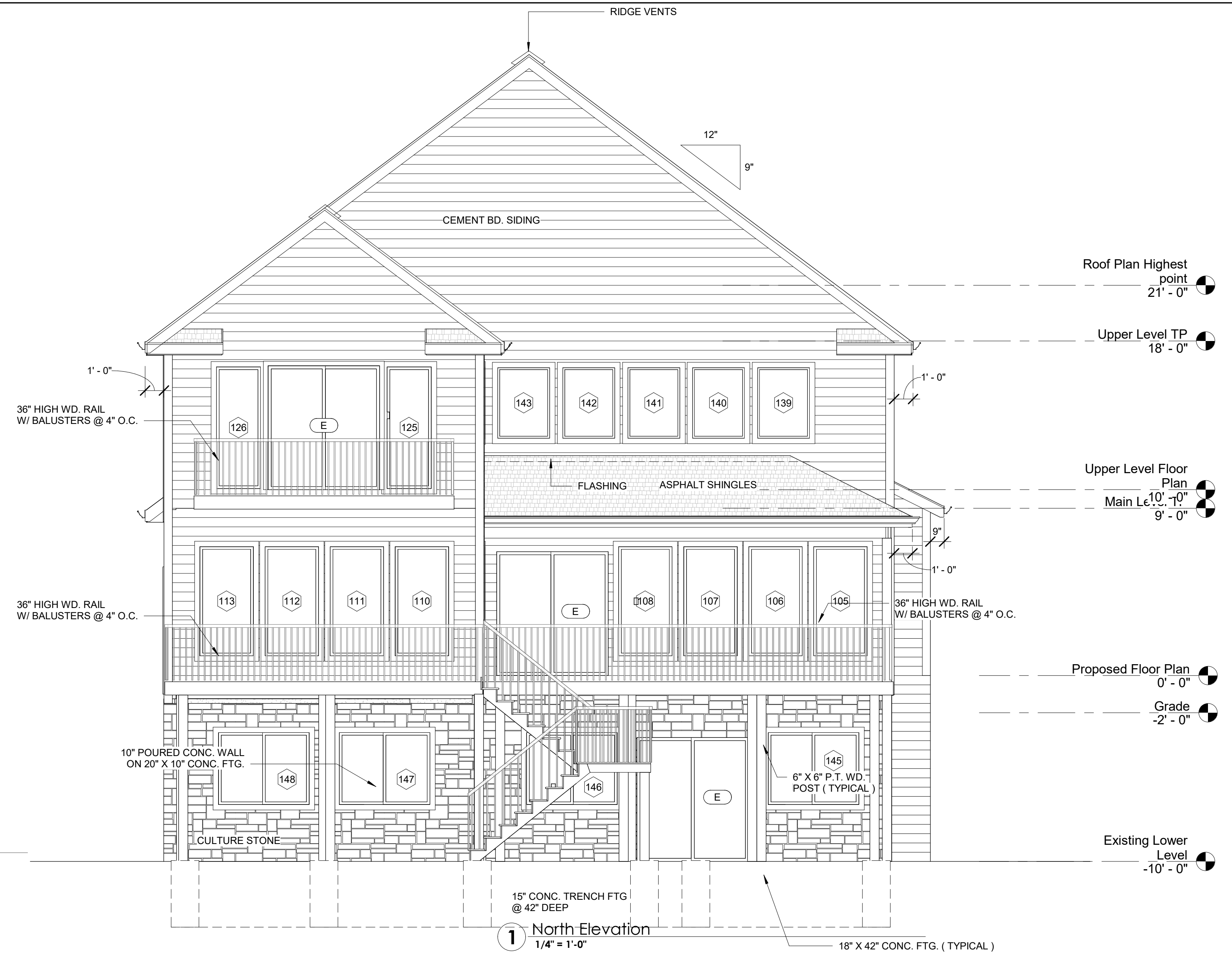
PROPOSED HOUSE FOR
Mike and Lindsey Mack
 9562 Mandon
 White Lake, Mi.

A I
B D

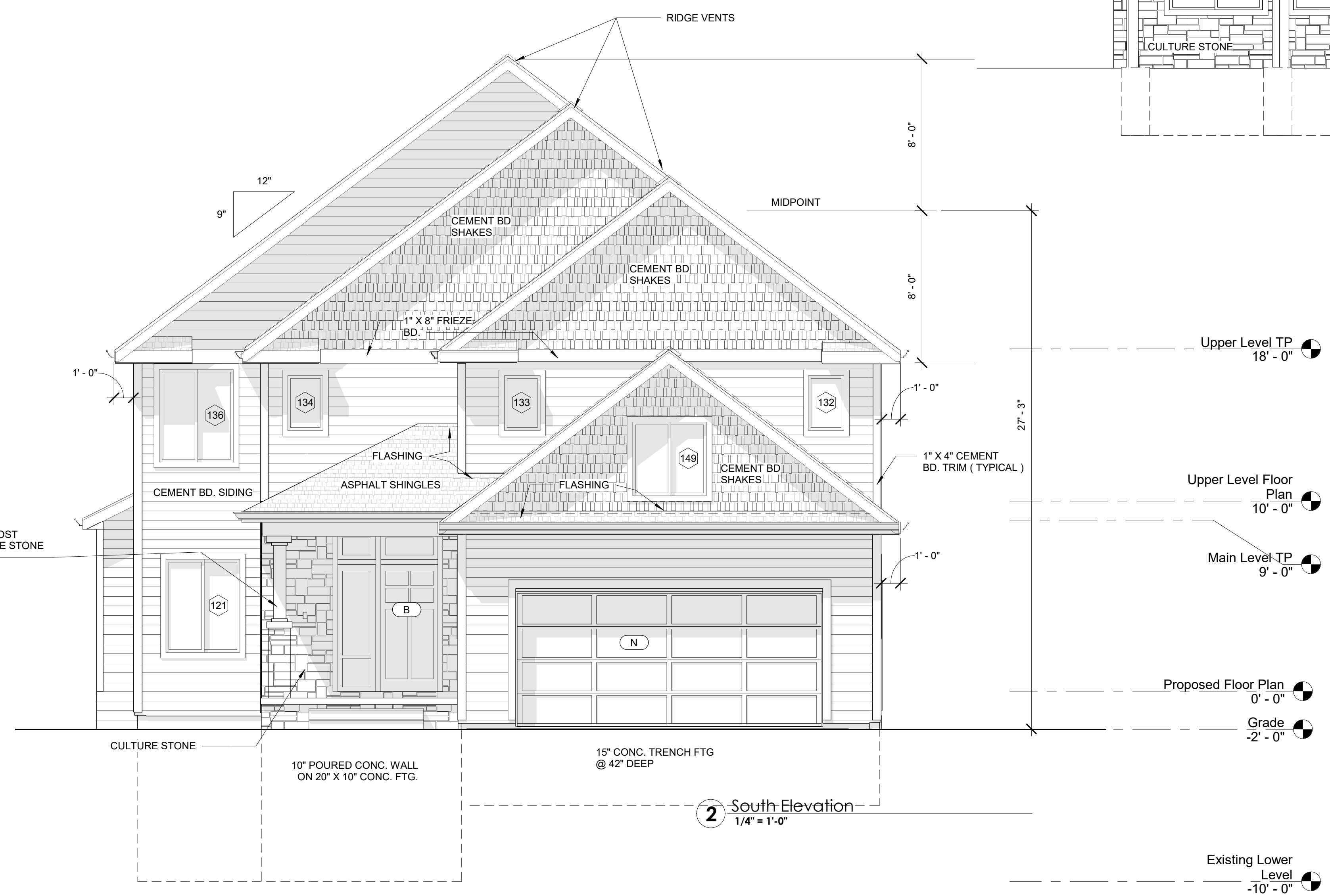
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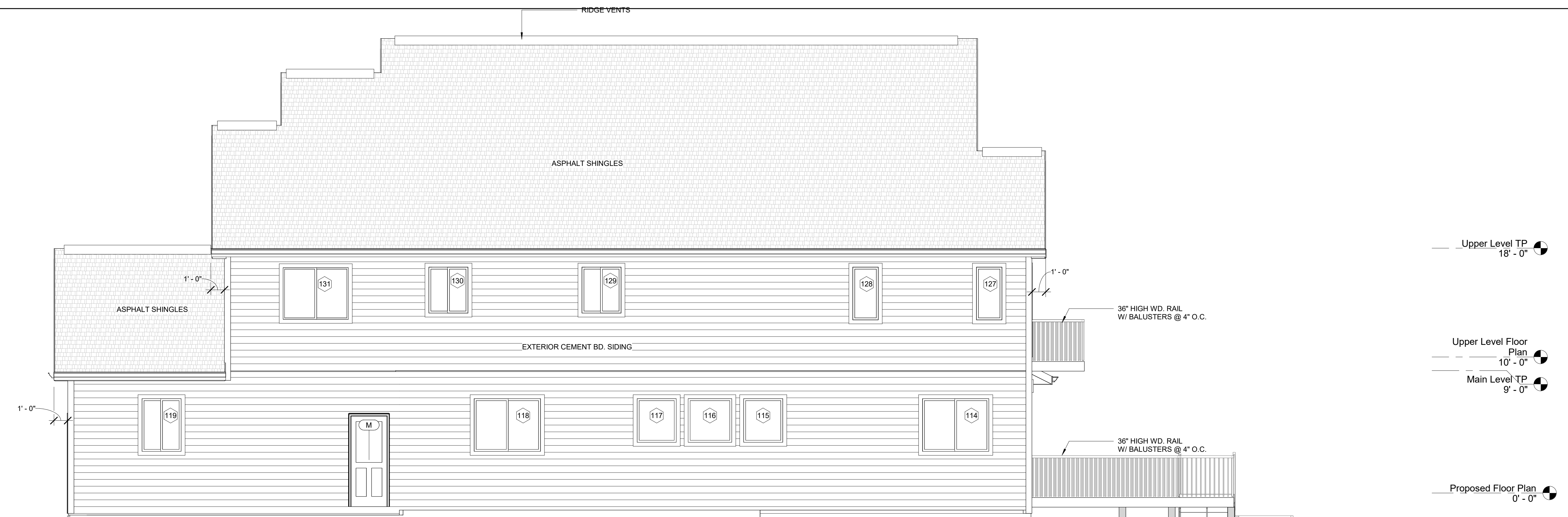
Elevations
 Date 4-9-2021
 Sheet
A2.0



1 North Elevation
 1/4" = 1'-0"

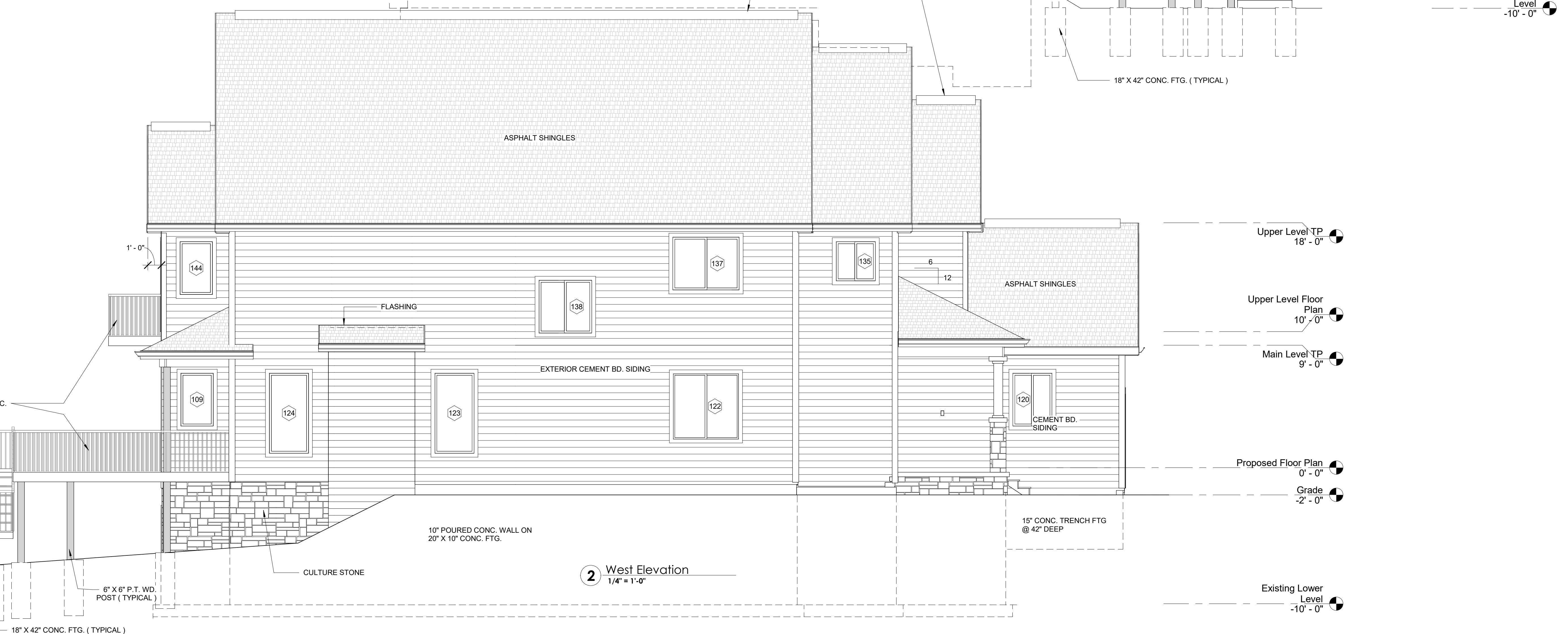


2 South Elevation
 1/4" = 1'-0"



1 East Elevation
1/4" = 1'-0"

- Upper Level TP 18'-0"
- Upper Level Floor Plan 10'-0"
- Main Level TP 9'-0"
- Proposed Floor Plan 0'-0"
- Grade -2'-0"
- Existing Lower Level -10'-0"



2 West Elevation
1/4" = 1'-0"

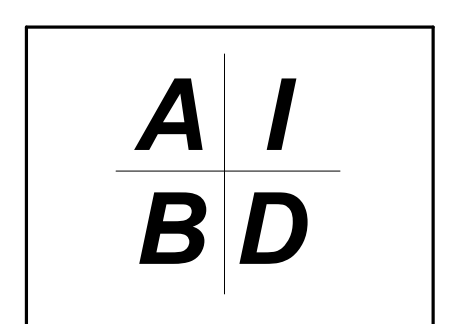
- Upper Level TP 18'-0"
- Upper Level Floor Plan 10'-0"
- Main Level TP 9'-0"
- Proposed Floor Plan 0'-0"
- Grade -2'-0"
- Existing Lower Level -10'-0"

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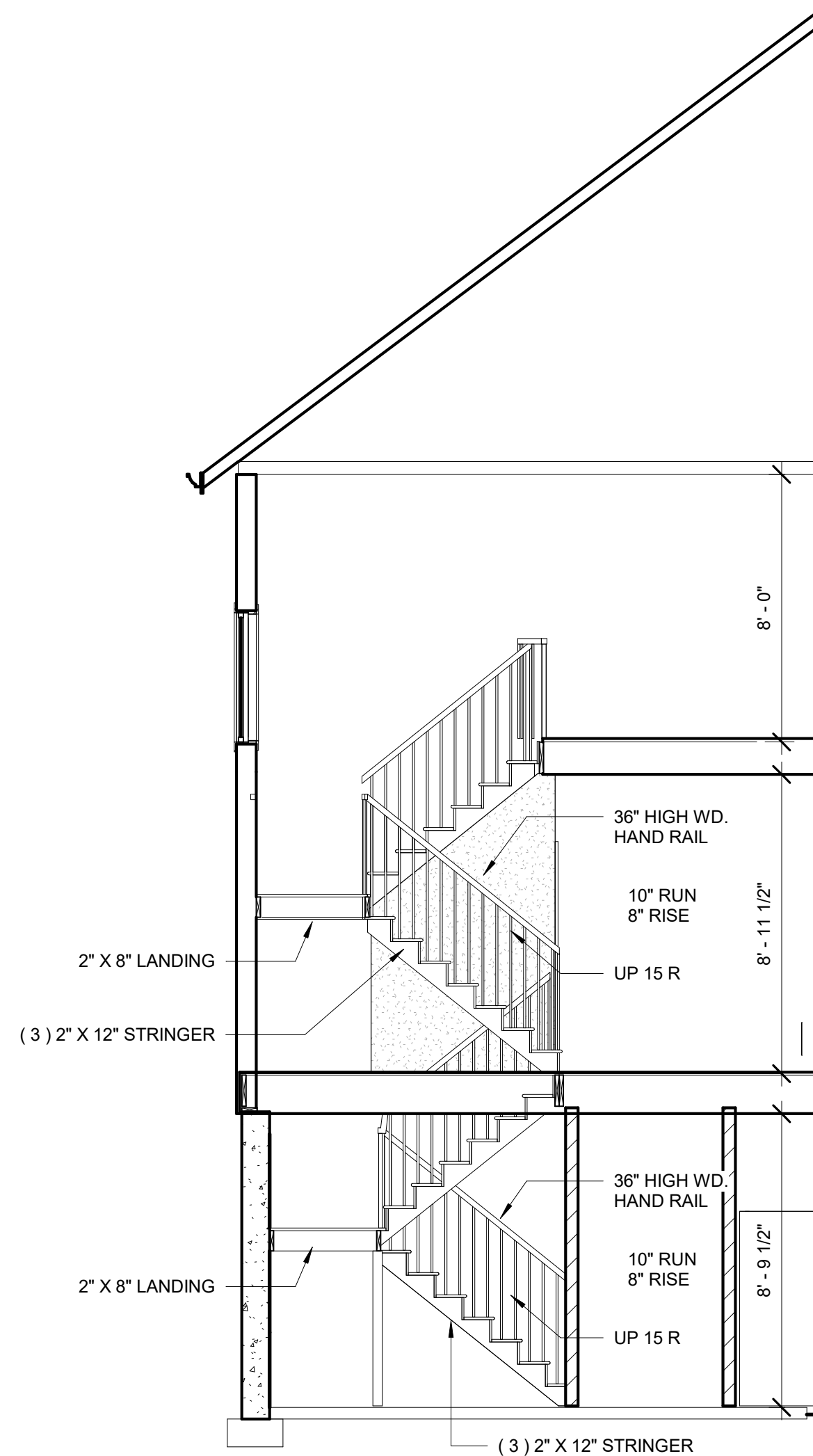
PROPOSED HOUSE FOR
Mike and Lindsey Mack
9562 Mandon
White Lake, Mi.



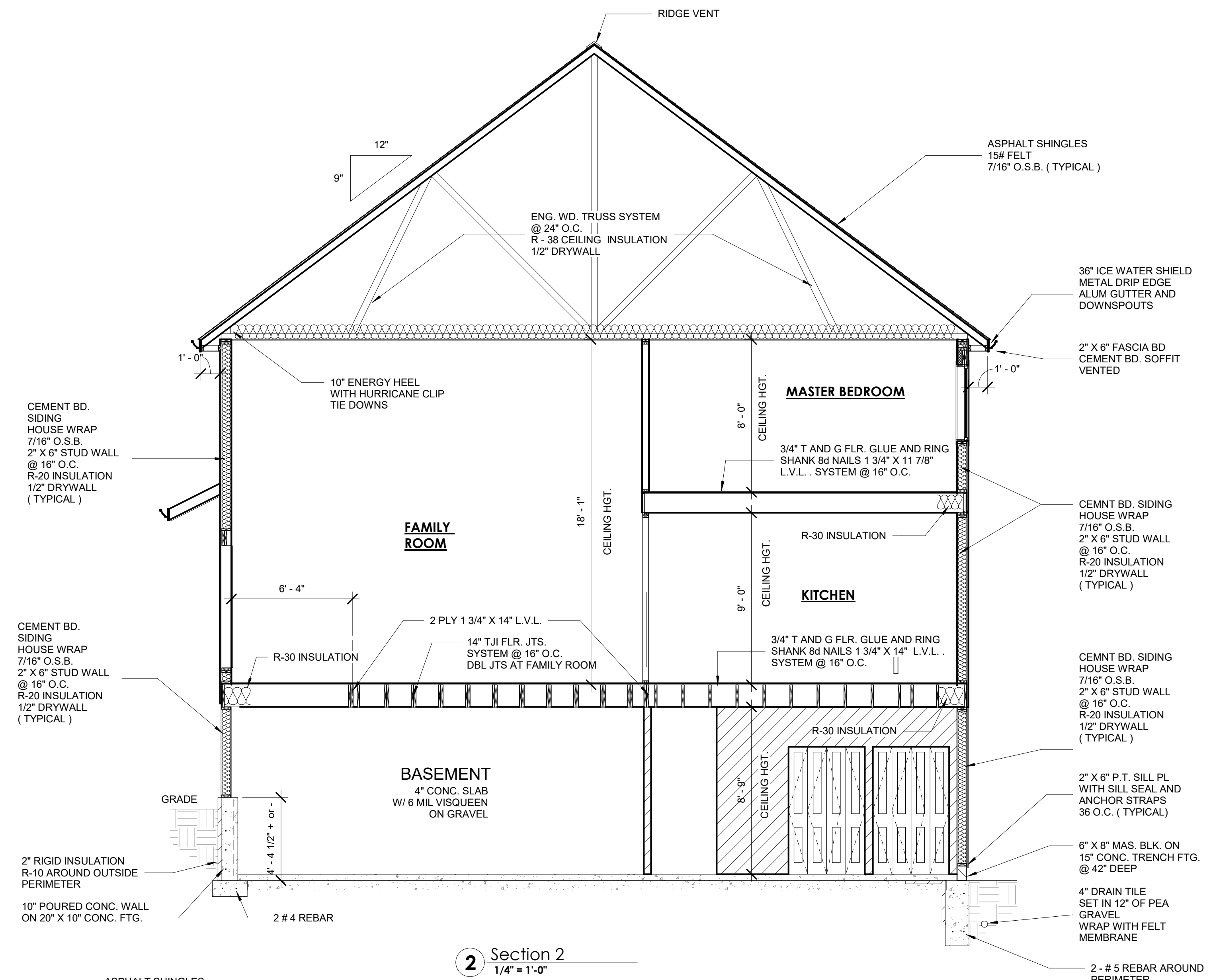
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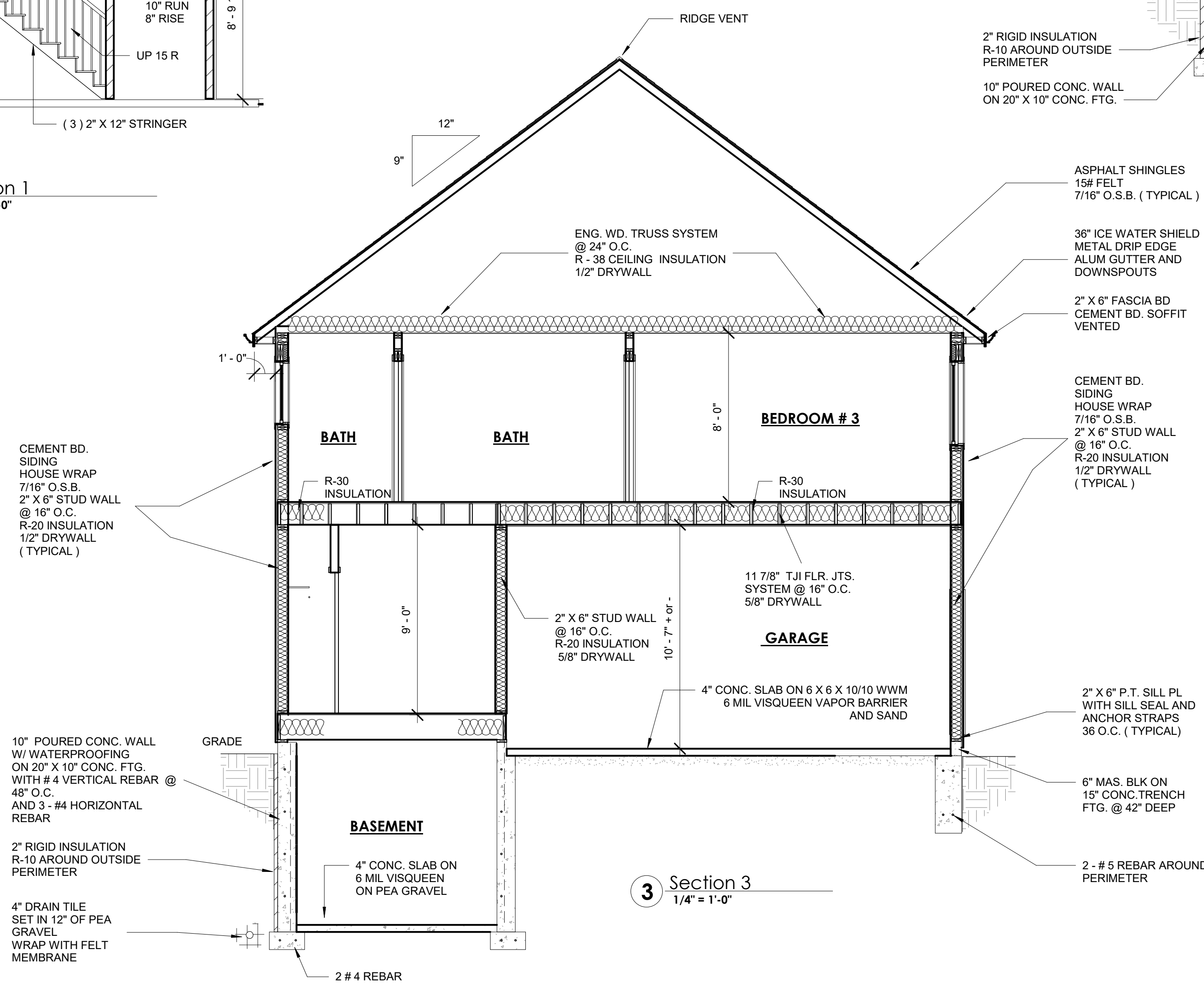
Elevations
Date 4-9-2021
Sheet
A2.1



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



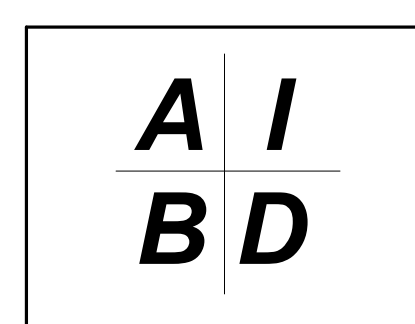
3 Section 3
1/4" = 1'-0"

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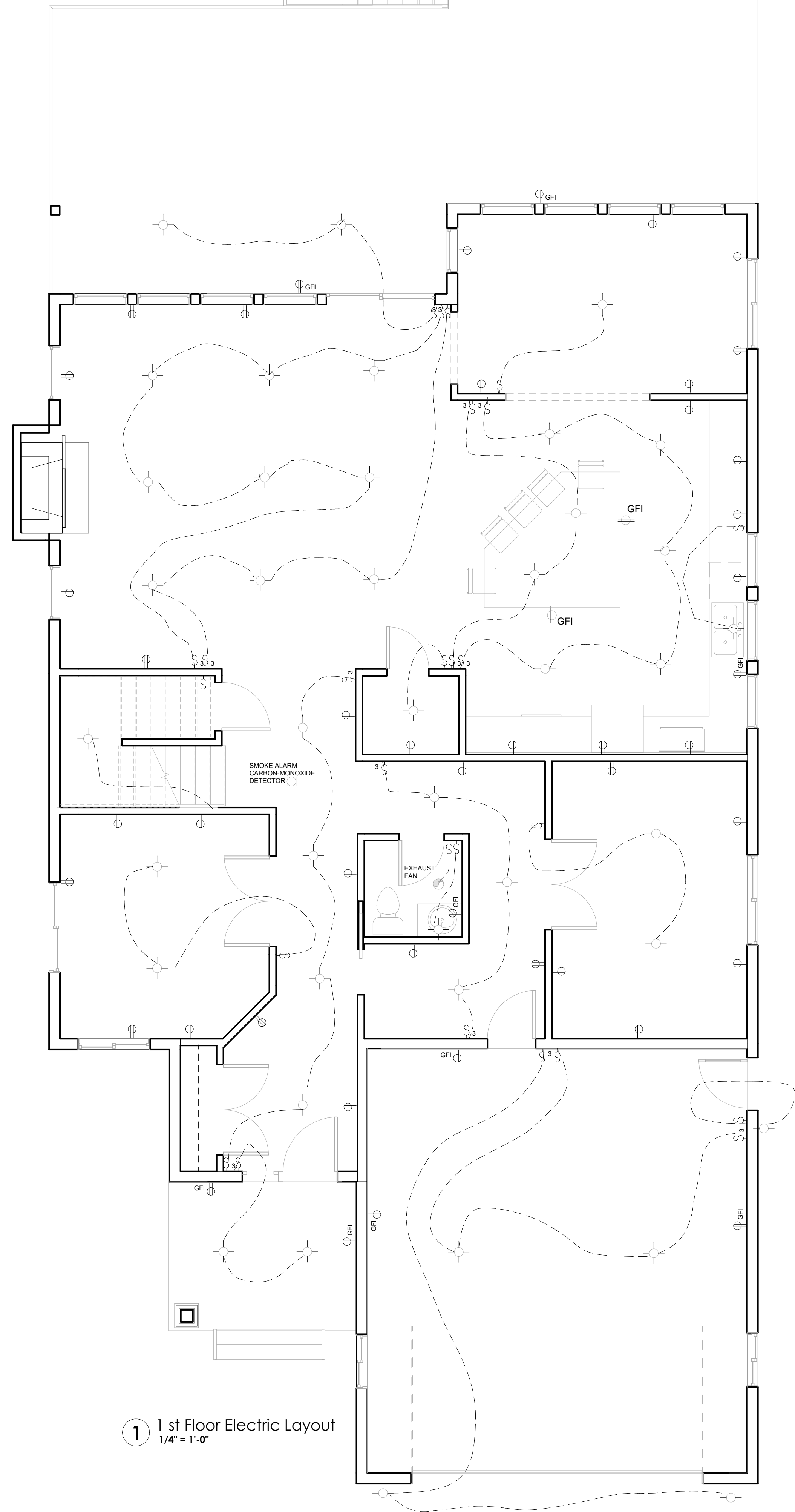
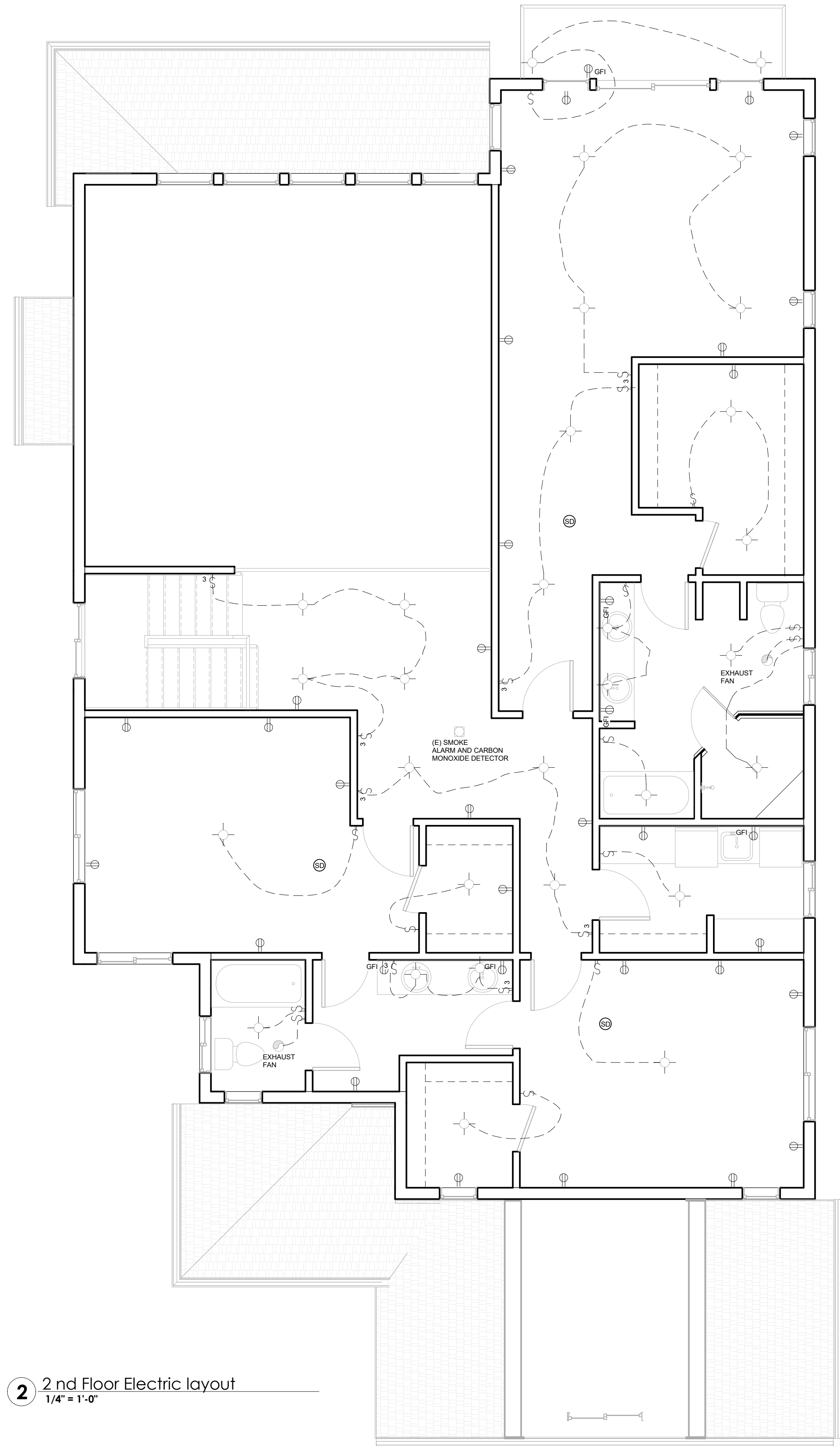


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Building Section 1,2 and 3
Date 4-9-2021

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A3.0

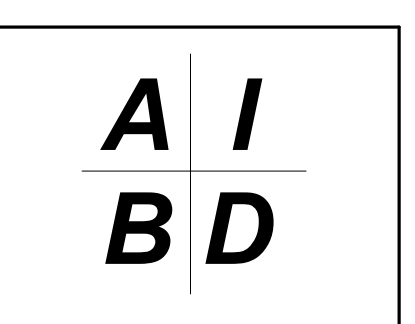


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PROPOSED HOUSE FOR
Mike and Lindsey Mack
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White Lake, Mi.



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WATERFORD, MI 48327



Electrical Plan
Date 4-9-2021
Sheet
E1.1

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 26, 2021

Mike and Lindsay Mack
9562 Mandon Rd.
White Lake, MI 48386

RE: Proposed Residential Structure

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft each side and total of 20 ft, minimum lot width of 80 ft, and maximum building height of 25 ft.

The existing lot is legal non-conforming with a width of 53 ft and road frontage of 75 ft. The proposed residential structure would have a side yard setback of 7.23 ft on the west side and 6.0 ft on the east side, for a combined total of 13.23 ft. As well, the proposed height of the midpoint roofline is 27.25 ft.

Approval of the building plans would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. Application must be made to the White Lake Township Planning Department. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: May 27, 2021

Agenda item: 6b

Appeal Date: May 27, 2021

Applicant: Metro Detroit Signs

Address: 11444 Kaltz Avenue
Warren, MI 48089

Zoning: GB General Business

Location: 6491 Highland Road
White Lake, MI 48386

Property Description

The approximately 1.31-acre parcel identified as 6491 Highland Road is located on the north side of Highland Road, east of Bogie Lake Road, and zoned GB (General Business).

Applicant's Proposal

Metro Detroit Signs, the applicant, on behalf of property owner Mark Pfau, is proposing to install an electronic message board monument sign and second wall sign.

Planner's Report

The following two signs are proposed:

- 32.8 square foot wall sign on the east (side) elevation
- 38.3 square foot monument sign with an electronic message board

In accordance with Article 5, Section 9.J.ii.b, a maximum of one (1) wall sign is permitted for each principal building. The one permitted wall sign must be located flat against the building's front facade or parallel to the front facade on a canopy. The applicant was issued a permit to install a wall sign on the south (front) elevation. Any additional wall signage requires a variance. Therefore, the applicant is requesting a variance to install a second wall sign on the east (side) elevation of the building.

In accordance with Article 5, Section 9.J.i.a, freestanding signs must be setback a minimum of ten (10) feet from the existing right-of-way. For sign size, Article 5, Section 9.J.i.b states the sign area of a freestanding sign is dependent upon the sign's setback from the existing right-of-way and the zoning district within which the sign is proposed. For single-tenant buildings in the GB district, freestanding signs are permitted two (2) square feet for each one (1) foot of setback, up to a maximum of 50 square feet in area (with a 25-foot setback). The existing freestanding sign is 20 feet in height and located 2 feet from the right-of-way line. The existing masonry base would be modified (reduced in height) and the proposed sign would be installed over the base (7 feet overall height). The new sign cabinet would project north and south over the base and be located 0 feet from the right-of-way line.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 5.9.J.ii.b	Maximum number of wall signs	1 wall sign	1 wall sign	2 wall signs
2	Article 5.9.J.i.a	Sign setback	10 feet min.	19.15 feet (38.3 square foot sign)	0 feet
3	Article 5.9.J.i.b	Maximum size of signs	50 square feet max.	38.3 square feet (0-foot setback)	38.3 square feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Metro Detroit Signs from Article 5.9.J.i.a and 5.9.J.i.b of the Zoning Ordinance for Parcel Number 12-20-276-020, identified as 6491 Highland Road, in order to install a 38.3 square foot monument sign that would be located 0 feet from the road right-of-way line and a second wall sign. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No additional signage shall be permitted on the building.
- Any future modification to signage on the building, except for eliminating signage, shall require approval of the Zoning Board of Appeals.

Denial: I move to deny the variances requested by Metro Detroit Signs for Parcel Number 12-20-276-020, identified as 6491 Highland Road, due to the following reason(s):

Table: I move to table the variance requests of Metro Detroit Signs for Parcel Number 12-20-276-020, identified as 6491 Highland Road, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated April 22, 2021.
2. Applicant’s written statement dated April 22, 2021.
3. Site plan.
4. Exterior elevations.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficulty results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicant's problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION

RECEIVED

APR 22 2021

COMMUNITY
DEVELOPMENT
DEPARTMENT

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Metro Detroit Signs PHONE: 586-759-2700

ADDRESS: 11444 Kaltz Ave Warren, MI 48089

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: Sign Contractor

ADDRESS OF AFFECTED PROPERTY: 6491 Highland Rd PARCEL # 12 - 20-276-020

CURRENT ZONING: _____ PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

Please see the attached ZBA cover letter

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

Please see the attached ZBA cover letter

APPLICATION FEE: \$440.⁰⁰ (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: *Kim Detter* DATE: 4/22/21



METRO SIGNS
— & LIGHTING —

11444 Kaltz Ave. Warren, MI 48089
P: (586)759-2700 F: (586)759-2703
kdeters@metroetroitsigns.com

DATE: 4/22/21
TO: White Lake Township ZBA
FROM: Kevin Deters
Metro Detroit Signs
RE: McDonald's signs at 6491 Highland Rd

ZBA Cover Letter

We are applying for a variance for the following two signs as part of the McDonald's remodel:

- a 4' x 9'-7" monument sign with an electronic message board (38.3 sq feet) at 7' OAH, centered on the existing brick base
- a 2' x 16'-5" (32.8 sq feet) McDonald's wall sign on the east (side) elevation

The only sign that is already approved is the south elevation arch wall sign (14 sq feet) facing Highland Rd. The rest of the signage requires a variance.

The monument sign at this location is unique in that, due to the existing water main easement, there is really no other place on the property to realistically and practically install a monument sign. Also, the proposed new monument sign is much smaller and aesthetically pleasing than the existing 20' high pylon that it will be replacing.

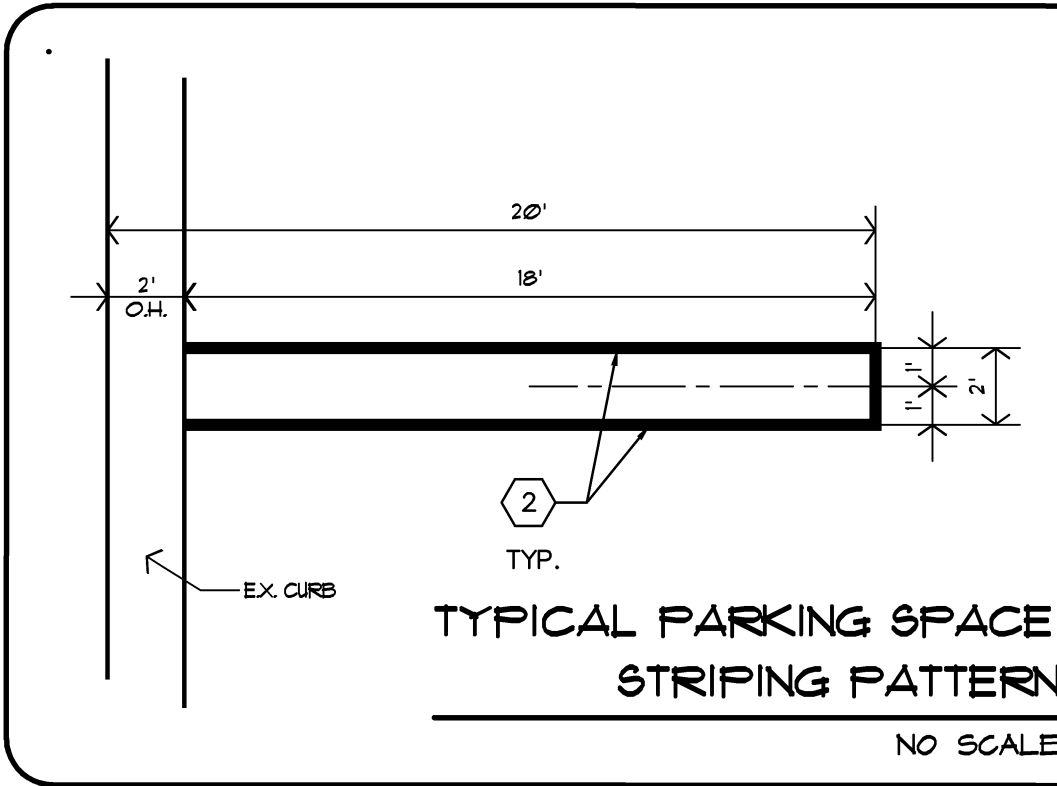
Since McDonald's is going from a 20' tall sign to a 7' tall sign, they are requesting a wall sign on the east elevation. The additional wall signage is necessary for visibility for westbound traffic along Highland Rd. McDonald's is an impulse business, so the extra visibility is crucial on the east elevation, particularly since traffic on Highland Rd drives anywhere between 50-65 mph and their ground sign will be much smaller.

Feel free to call me at (586)759-2700 if anything else is needed. Thank you for your assistance.

RECEIVED
APR 22 2021
COMMUNITY
DEVELOPMENT
DEPARTMENT

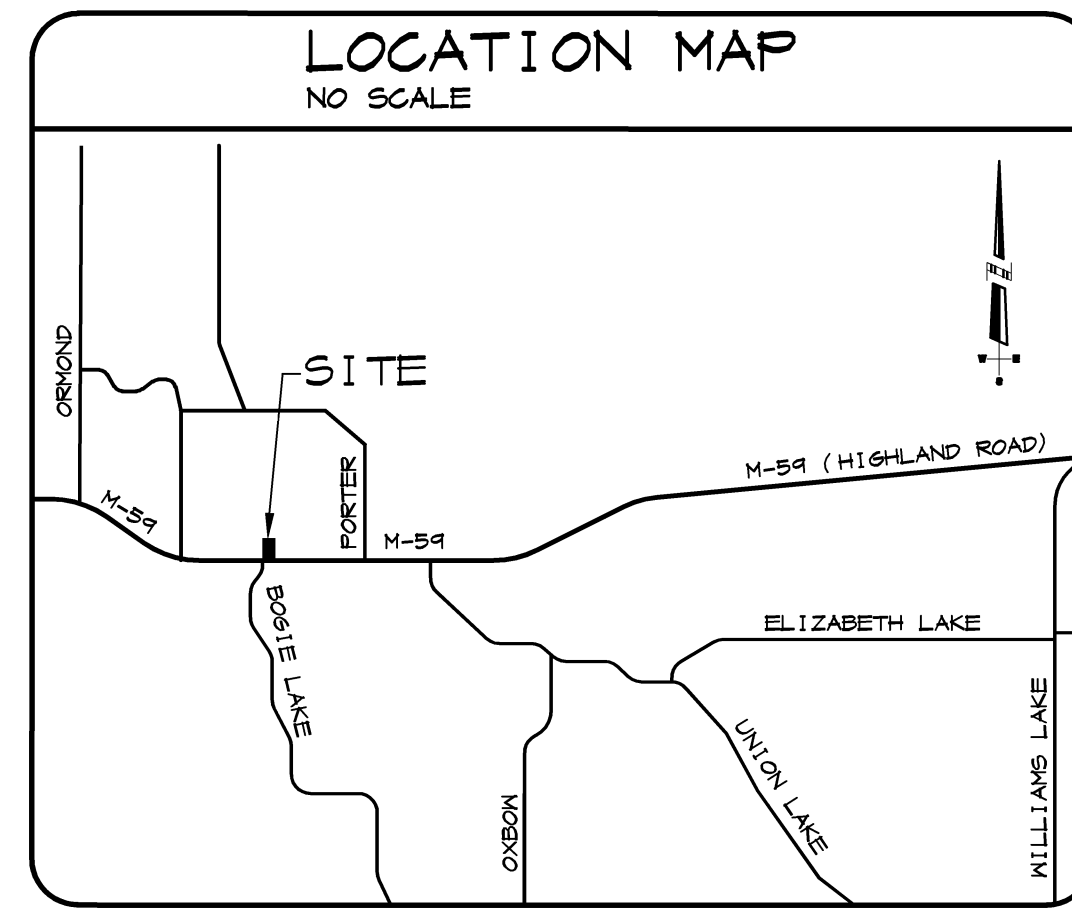
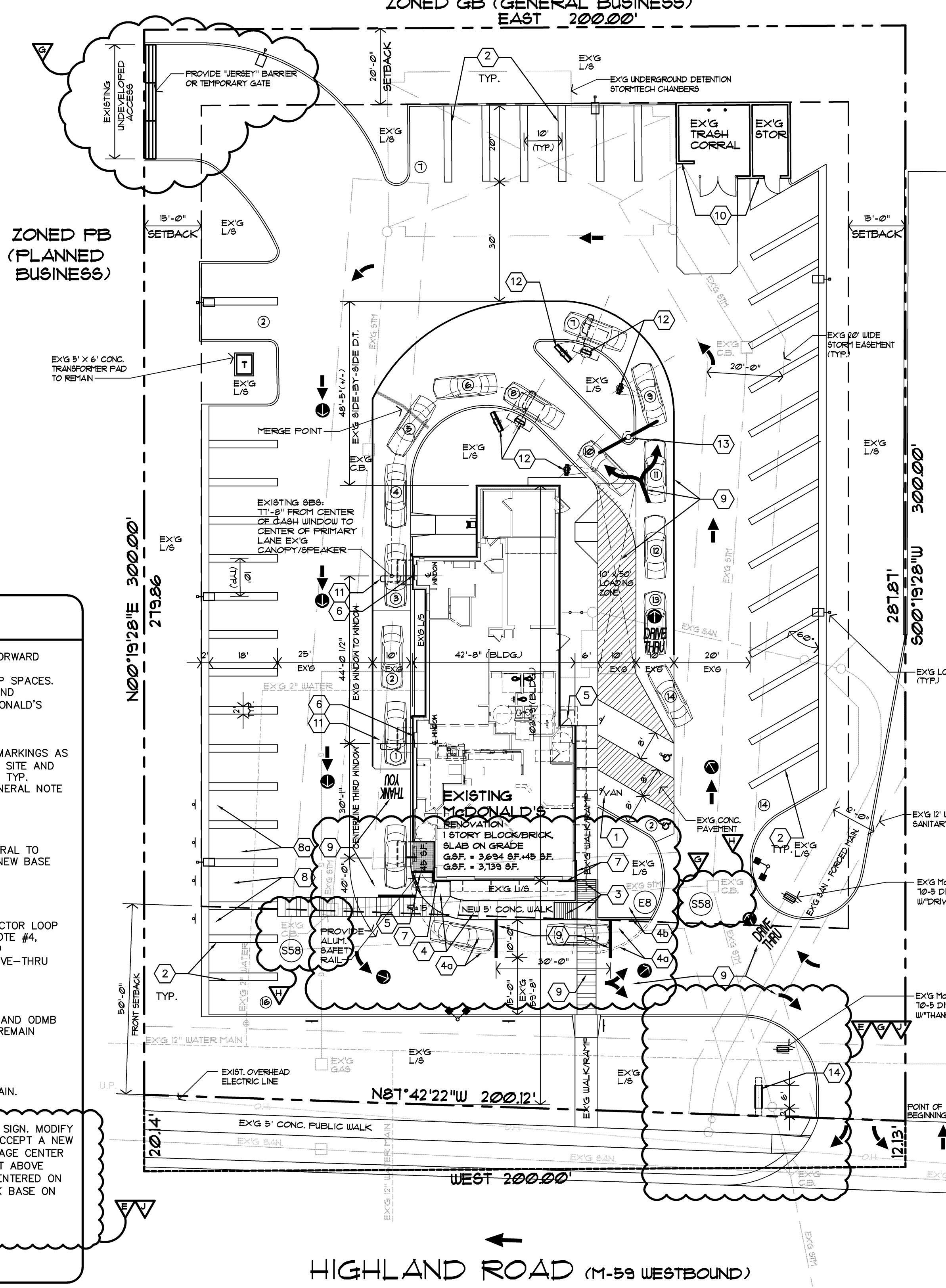
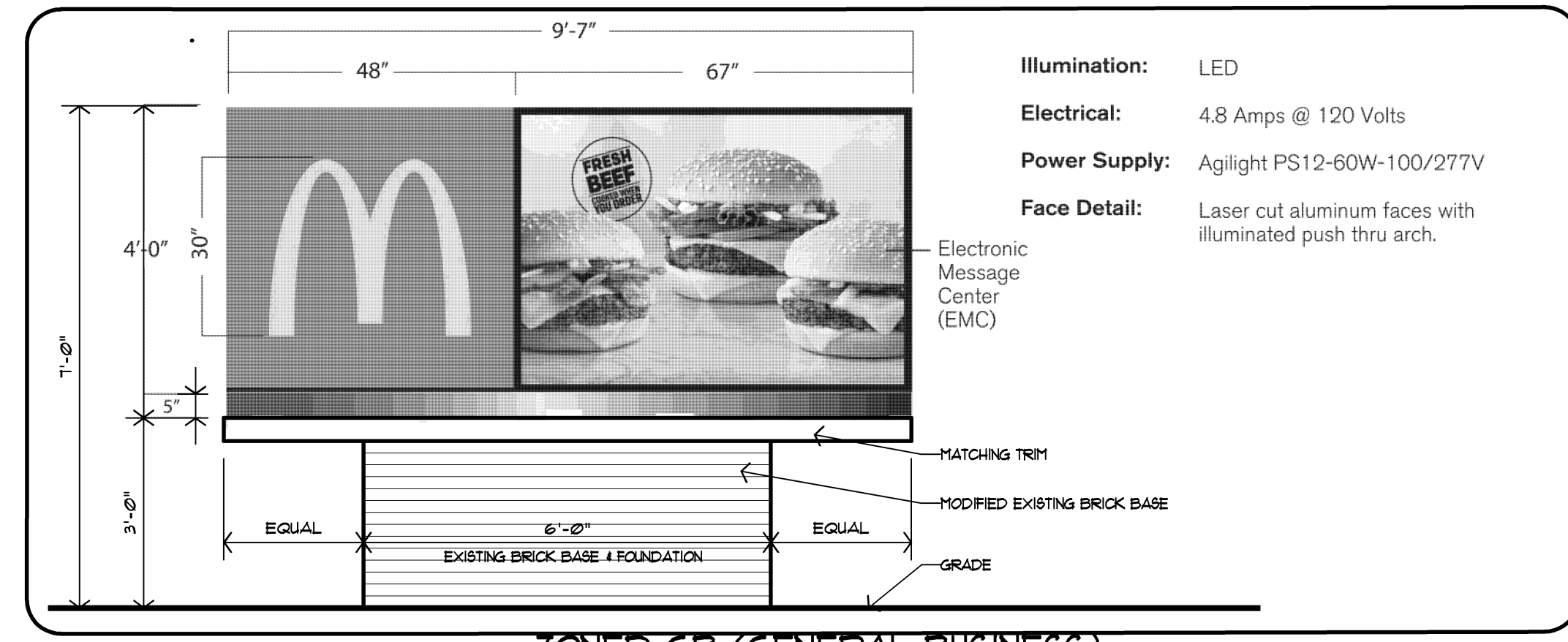
ADA SITE COMPLIANCE NOTES

- GENERAL NOTE:**
1. REFER TO THE SITE SPECIFIC ADA SURVEY FOR A LIST OF BARRIERS TO BE REMEDIATED AND ENSURE COMPLIANCE WITH ADA REQUIREMENTS.
- PARKING LOT:**
1. "VAN ACCESSIBLE" SIGN MUST BE PROVIDED AT INDICATED VAN ACCESSIBLE SPACE.
2. DRIVE THRU SPEECH/HEARING IMPAIRED SIGN MUST BE PROVIDED AT CASH AND PRESENT WINDOWS.
3. PARKING SPACES AND ACCESSIBLE AISLES TO HAVE MAXIMUM 1:48 (2%) RUNNING AND CROSS SLOPE.
4. CROSSWALK FROM ACCESSIBLE AISLE TO ACCESSIBLE RAMP TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE AND MAXIMUM 1:48 (2%) CROSS SLOPE.
5. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1/2" MAXIMUM SLOPE (50%)).
- CURB RAMPS:**
1. TRANSITIONS TO BE FLUSH AND FREE OF ABRUPT CHANGES.
2. MUST MAINTAIN 36" MINIMUM WIDTH (EXCLUSIVE OF FLARED SIDES).
3. RUNNING SLOPE: NEW 1:12 (8.3%) MAXIMUM - EXISTING 1:10 UP TO 6" RISE.
4. RAMP SURFACE TO HAVE MAXIMUM 2% CROSS SLOPE.
5. TOP LANDING, TYPE I, II, III, IV, TO HAVE MAXIMUM 2% SLOPE IN CHANGE OF DIRECTION.
6. TOP LANDING, TYPE III, TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE.
7. GUTTER PAN SLOPE MAXIMUM 1:20 (5%).
- SIDEWALKS:**
1. SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) CROSS SLOPE.
2. SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE.
3. MINIMUM WIDTH 36".
4. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1/2" MAXIMUM SLOPE (50%)).
- ENTRY DOOR LANDINGS:**
1. LANDING SURFACE, INSIDE AND OUTSIDE, TO HAVE MAXIMUM 2% SLOPE IN ANY DIRECTION.



TAGGED SITE NOTES

- PROVIDE BARRIER-FREE VAN ACCESSIBLE PARKING, AS SHOWN (SEE BARRIER REPORT NOTE #1 - ALSO SEE ADA SITE COMPLIANCE NOTES, THIS SHEET)
- RE-STRIP ENTIRE PARKING LOT SPACES, AS SHOWN AND DIMENSIONED (SEE DETAIL, THIS SHEET)
- PROVIDE NEW CONCRETE BARRIER-FREE RAMPS AND LANDING. (SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET)
- REMOVE PORTION OF EXISTING LANDSCAPE AND REPLACE WITH 5" WIDE CONCRETE WALK SO THAT CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5% (SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET).
- REMOVE EXISTING CONC. CURB AND LANDSCAPE. PROVIDE NEW ASPHALT PAVING FOR ORDER WAITING SPACES.
- NEW CONC. CURB TO MATCH EX'G. - LANDSCAPE TO BE MAINTAINED AND SUPPLEMENTED, AS NECESSARY.
- PROVIDE ACCESSIBLE SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE 2, AND FLOOR PLAN FOR SIGNAGE PLACEMENT).
- PROVIDE SPEECH AND HEARING IMPAIRED SIGNAGE PER McDONALD'S STANDARDS / A.D.A. REQUIREMENTS. (SEE BARRIER REPORT NOTE 3, AND FLOOR PLAN FOR SIGNAGE PLACEMENT).
- PROPOSED CONSTRUCTION OF McDONALD'S "BRANDING ELEMENT" - SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR IMPROVEMENTS.
- PROVIDE (2) OOSP PULL-FORWARD AND (2) MOBILE-ORDER PICK-UP SPACES. DESIGNATE WITH SIGNAGE AND DOUBLE-STRIPING PER McDONALD'S STANDARDS.
- RE-PAINT D.T. PAVEMENT MARKINGS AS REQUIRED PER McDONALD'S SITE AND DRIVE-THRU STANDARDS - TYP. THROUGHOUT SITE. SEE GENERAL NOTE #12, THIS SHEET.
- VERIFY EXISTENCE OF DETECTOR LOOP IN FIELD. SEE GENERAL NOTE #4, THIS SHEET, AND REFER TO McDONALD'S STANDARD DRIVE-THRU DETAIL SHEET DT-1.
- EXISTING SBS DRIVE-THRU AND ODMB EQUIPMENT: EXISTING TO REMAIN
- EXISTING SBS DRIVE-THRU: EXISTING GATEWAY TO REMAIN.
- REMOVE EXISTING 20' TALL SIGN. MODIFY EXISTING BRICK BASE TO ACCEPT A NEW SIGN W/ ELECTRONIC MESSAGE CENTER AND NOT EXCEED 7' HEIGHT ABOVE GRADE X 9'-7" LONG - CENTERED ON EXISTING 6'-0" LONG BRICK BASE ON EXISTING FOUNDATION.



LEGAL DESCRIPTION

DESCRIPTION OF A 1.37 ACRE PARCEL OF LAND IN THE NE 1/4 OF SECTION 20, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

Part of the Northeast 1/4, Section 20, Town 3 North, Range 8 East, Township of White Lake, Oakland County, Michigan, thence West 694.07 feet along the E-W 1/4 line of said Section 20; thence North 00 degrees 40 minutes 00 seconds East 60.00 feet and West 374.48 feet from East 1/4 corner; thence West 200.00 feet along north line of M-59 Highway; thence North 00 degrees 19 minutes 28 seconds East 300.00 feet; thence East 200.00 feet; thence South 00 degrees 19 minutes 28 seconds West 300.00 feet to beginning, more property described as:

Commencing at the E 1/4 corner of Section 20, T3N, R8E, White Lake Township, Oakland County, Michigan; thence West 694.07 feet along the E-W 1/4 line of said Section 20; thence North 00 degrees 40 minutes 00 seconds East 60.00 feet and West 374.48 feet from East 1/4 corner; thence West 200.00 feet along north line of M-59 Highway; thence North 00 degrees 19 minutes 28 seconds East 300.00 feet; thence East 200.00 feet; thence South 00 degrees 19 minutes 28 seconds West 300.00 feet to beginning, more property described as:

GENERAL NOTES

- McDONALD'S ROAD SIGN: EXISTING.
- ALL SITE WORK SHALL BE ACCORDING TO WHITE LAKE TOWNSHIP STANDARDS.
- ALL LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING ARE EXISTING. IF OTHERWISE NOTED AS NEW OR RELOCATED, LOT LIGHTING SHALL MATCH EXISTING AND BE INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR.
- EACH DRIVE-THRU WINDOW TO BE PROVIDED WITH DETECTOR LOOP. VERIFY IN FIELD THE EXISTENCE OF THE DETECTOR LOOPS. SAWCUT EXISTING SLAB AND REPLACE OR PROVIDE NEW WHERE NECESSARY. TIE INTO EXISTING LOOP DETECTOR ELECTRICAL SYSTEM.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 4" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING/DEMOLITION AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS, IF APPLICABLE.
- REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS, IF APPLICABLE.
- EXISTING TRASH CORRAL TO REMAIN AND MATCH BUILDING'S BASE COLOR.
- ALL RADII NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- BARRIER FREE RAMP TO BE 8'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.
- PAINTED SITE DIRECTIONAL ARROWS, LINES AND SYMBOLS TO BE WHITE. HANDICAP LINES AND SYMBOLS ARE BLUE #123. DRIVE-THRU DOUBLE-STRIPING & CIRCLE DIRECTIONAL ARROWS TO BE PAINTED YELLOW. LOT PAINTING TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND McDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS. SEE SITE PLANNING GUIDE V3.1, OR LATEST VERSION.
- INSTALLATION OF FLAGPOLE(S) IS OPTIONAL AND PER THE OWNER/OPERATOR'S REQUEST. IF USED, FLAGPOLE(S) MUST BE ILLUMINATED.

LAND/BUILDING/PARKING DATA AND NOTES

LAND AREA: 59,998 S.F. OR 1.37 ACRES
NET AREA (MINUS RIGHT OF WAY): 56,772 S.F. OR 1.3 ACRES
BUILDING AREA: 3,694 S.F.
GROSS BUILDING AREA (INCLUDING VESTIBULE ADDITION): 3,739 S.F.

ADJACENT ZONING: GB GENERAL BUSINESS
GB GENERAL BUSINESS
PB PLANNED BUSINESS

BUILDING SETBACKS PROVIDED (EXISTING):
FRONT YARD SETBACK: 59 FEET
SIDE YARD SETBACK (EAST): 88 FEET, 9 INCHES
SIDE YARD SETBACK (WEST): 76 FEET, 2 INCHES
REAR YARD SETBACK: 120 FEET, 4 INCHES

PARKING PROVIDED (EXISTING):
STANDARD SPACES PROVIDED: 39 SPACES
NUMBER OF H.C. SPACES PROVIDED: 2 SPACES
TOTAL SPACES PROVIDED: 41 SPACES

LOADING / UNLOADING AREA PROVIDED:
(1) 10' x 50'
TOTAL LOADING / UNLOADING AREA PROVIDED: = 500 S.F.

WRC SOIL EROSION NOTES

1. SEE SHEET C19 SITE DETAILS ALONG WITH WRC SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR INLET PROTECTION AND SEEDING AS REQUIRED.

PARKING INFORMATION

TOTAL SPACES	14	SPACES @ 60'
41	2 B.F.	SPACES @ 60'
	25	SPACES @ 90'
	-	SPACES @ 0

ARCHITECT/PLANNER

Dorchen/Martin Associates, Inc.
Architects/Planners
29895 Greenfield Rd., Suite 107
Southfield, Michigan 48076
(248) 557-1062
Fax: (248) 557-1231
e-mail: dmo@dorchenmartin.com
www.dorchenmartin.com

SURVEYOR **CIVIL ENGINEER**

SITE LOCATION

PROJECT STREET ADDRESS: 6491 HIGHLAND RD
CITY: WHITE LAKE TWP. STATE: MICHIGAN COUNTY: OAKLAND
NATIONAL I.D. NO.: 19098 SITE LOCATION CODE NO.: 021-1441

EXISTING SITE NOTE
EVERYTHING SHOWN ON THIS SITE PLAN IS EXISTING EXCEPT THOSE AREAS "CLOUDED" NOTED FOR DRIVE-THRU ORDERING AND/OR SITE/BUILDING MODIFICATIONS, OR UNLESS OTHERWISE NOTED

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PLAN APPROVALS

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURES

DATE

STATUS

STATUS	DATE	BY
DATE DRAWN	JAN 2021	DMA
PLAN CHECKED		
AS-BUILT		

ISSUE REF

REV	DATE	DESCRIPTION	BY
A	8-21-19	SUBMIT TO MCD'S USA FOR FBR	
B	12-12-19	SUBMIT TO TWP FOR ADMINISTRATIVE SPA	
C	01-08-20	REVISIONS PER PLANNING COMMISSION REVIEW	
D	01-21-20	FINAL APPROVED SITE PLAN ADMIN SPA	
E	2-4-20	MONUMENT SIGN MODIFICATION - SET BACK	
F	5-20-20	BID/FBR/IT	
G	12-22-20	VEET EXTENSION - ADM SPA - FBR SUBMIT	
H	2-3-21	SOIL EROSION NOTES	
J	4-20-21	EXISTING SIGN MODIFICATION	

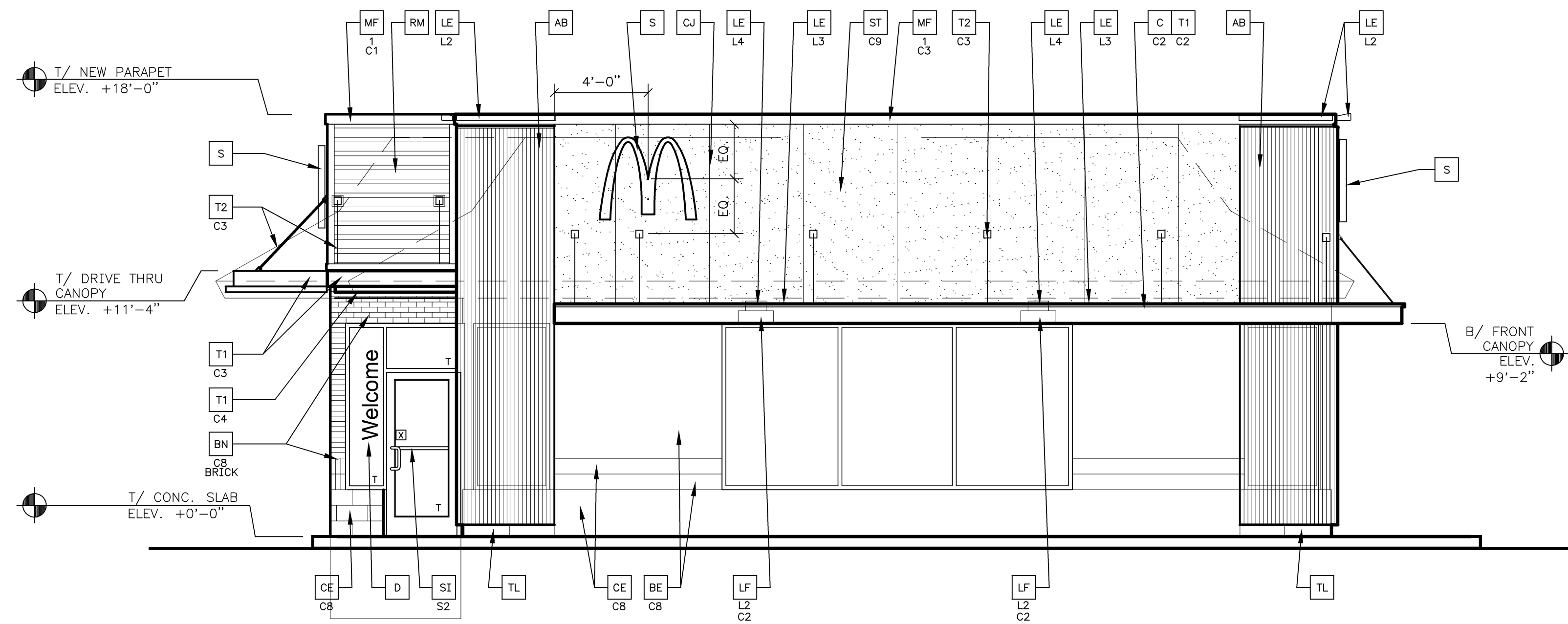
ARCHITECT SEAL

FRANK Z. MARTIN
ARCHITECT
No. 1301019881
LICENSED

OFFICE ADDRESS
MICHIGAN
110 N. CARPENTER ST., CHICAGO, IL 60607

Existing 20' high ground sign to be removed and replaced





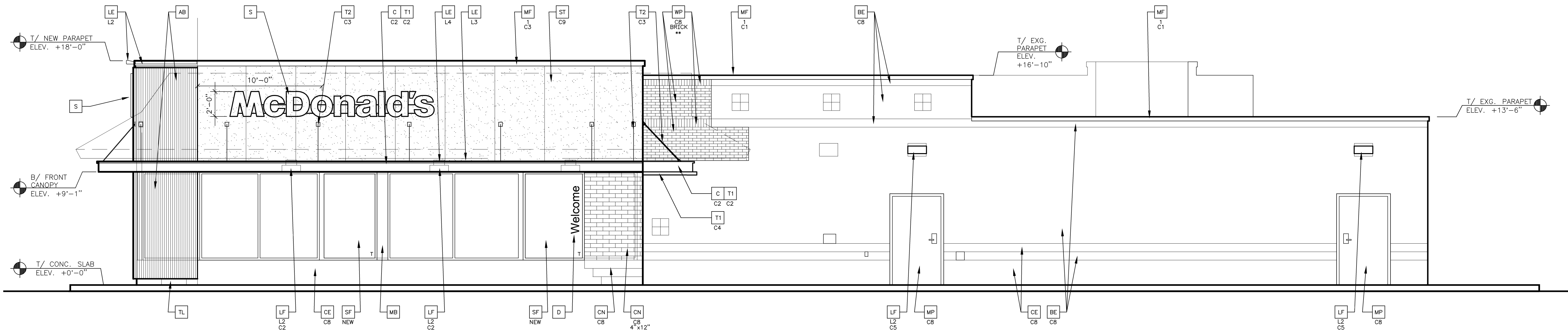
2 FRONT ELEVATION - SOUTH
 1/4" = 1'-0"

ELEVATION KEY NOTES: BB20 7-2020

- COLOR SCHEME:** ("STEEL" SCHEME)
 C8 = SHERWIN WILLIAMS PAINT, GAUNTLET GRAY SW-7019
 C9 = SHERWIN WILLIAMS PAINT, IRON ORE SW-7069
- AB** VERTICAL ALUMINUM BATTEN SYSTEM BY MFR: B+N INDUSTRIES
 SIZE: PROFILE 2"x2" w/ ENDCAP
 COLOR: WOOD GRAIN, BACKRAIL UNFINISHED.
 - SEE WALL SYSTEM NOTES, SHEET A3.0
- AP** ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BE** BRICK - EXISTING TO REMAIN - PAINT PER EXTERIOR PAINT SCHEME
- BN** BRICK - NEW TO MATCH EXIST'G TEXTURE & COURSING - PAINT PER EXTERIOR PAINT SCHEME
- BM** BUILDING MATERIAL - EXISTING TO REMAIN - COLOR
- C** - C6 = PAINT PER EXTERIOR COLOR SCHEME
 - EXG = EXISTING TO REMAIN - DO NOT CANOPY - 12" ALUMINUM FASCIA SYSTEM - COLOR
 C2 = WHITE
 C3 = RAL 7022
- CE** CONC. BLOCK - EXG REMAIN & PAINT: - COLOR
 C6 = PAINT PER EXTERIOR COLOR SCHEME
- CJ** CONTROL JOINT SPACING: PER MANUFACTURER RECOMMENDATION & INSTALLATION STANDARD
 CONC BLOCK - NEW TO MATCH EXG TEXTURE, COURSING & PAINT COLOR C6
- CN** FIBER CEMENT SIDING: HARDIE PLANK BY JAMES HARDIE - COLOR
 C8 = AGED PEWTER
 C10 = TIMBER BARK
- DE** DECAL BY GRAPHICS SUPPLIER. SURFACE APPLIED, FIELD INSTALLED, PRECUT, PRESPAVED. SUPPLIERS:
 -VOMELA (865)330-7337 ann.bowen@vomela.com
 -GFX INTERNATIONAL (847)543-4600 mcdonaldsdecor@gfxi.com
- DS** PROVIDE NEW DOWNSPOUT & GUTTER AS REQUIRED (OR PAINT EXG GUTTER & DOWNSPOUT TO MATCH ADJACENT)
- EF** EXISTING FINISH - WHEN PAINTED: C6 = PAINT PER EXTERIOR COLOR SCHEME - SEE NOTE ABOVE
- GR** GUARD RAIL - NEW, EXISTING GALVANIZED, OR REPAINT TO MATCH BASE BUILDING

- LE** LIGHT FIXTURE (ACCENT, LED) - SEE ELECTRICAL ON ROOF PLAN - TYPE
 L2 = DOWN ONLY FIXTURE
 L3 = INTEGRAL CANOPY FIXTURE
 L4 = FLOOD LIGHT UP FIXTURE
 C2 = WHITE
 C5 = SILVER
- LF** LIGHT FIXTURE (SCONCE, ETC. LED) - SEE ELECTRICAL ON ROOF PLAN - TYPE
 L2 = DOWN ONLY FIXTURE
 L5 = RECESSED DOWN FIXTURE
 C2 = WHITE
 C4 = GOLD
 C5 = SILVER
- MB** NEW BREAK METAL - MATCH EXISTING WINDOW MULLIONS
- MF** METAL FASCIA: ERA METAL TYPE:
 1 = PRE-FAB ANCHOR-TITE FASCIA
 2 = PRE-FAB CUSTOM BRAND WALL FC
 3 = PRE-FAB LEDGE CAP FASCIA
 COLOR:
 C1 = WEATHERED ZINC
 C3 = CHARCOAL RAL 7022
- MJ** MOVEMENT JOINT - DILEX BWB100GS BY SCHLUTER SYSTEMS COLOR: BLACK
- MP** METAL - PAINT DOOR OR EQUIPMENT TO MATCH COLOR SCHEME
- MR** STANDING SEAM METAL ROOF & TRIM w/ SNOW GUARD CLEATS @ WALKS & D.T. - COLOR: ENGLERT PRE-WEATHERED GALVALUME
- PT** PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- PB** PIPE BOLLARD - PROVIDE YELLOW PVC COVER PER McDONALD'S STANDARDS
- RM** 7" REVEAL METAL PANEL COLOR: WEATHERED ZINC BY METAL ERA SEE DETAILS & NOTES ON A3.0
- RS** ROOF SCREEN WALL: - TREX BOARDS ON METAL FRAME. - PAINT TO MATCH BASE BUILDING.
- S** McDONALD'S SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT. - RACEWAY COLOR:
 C1 = CITYSCAPE
 C3 = CHARCOAL RAL 7022

- SF** NEW STORE FRONT & GLAZING. (T = TEMPERED). - COLOR TO MATCH EXISTING
- SI** APPLIED A. D. A. SIGNAGE BY FORREST PERMA-SIGN. SEE GENERAL NOTE #4 ON A1.0 - TYPE
 S1 = SIGN #778
 S2 = SIGN #352 OR #353
 S3 = SIGN #93A
- SP** NEW SPANDREL GLASS INFILL IN ALUMINUM FRAME TO MATCH EXISTING
- ST** STUCCO CEMENT BOARD w/ SANDEPBBLE FINISH.
 xx - SEE WALL SECTIONS, DETAIL & NOTES ON A3 - COLOR: STRATONE HIGH PERFORMANCE. PAINT PER EXTERIOR PAINT SCHEME
 ALUMINUM TRELLIS - SEE PLAN FOR DEPTH
 C. - COLOR
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CHARCOAL
 C4 = GOLD
 C5 = SILVER
- T1** ALUMINUM TRELLIS TIE BACK - COLOR
 C3 = CHARCOAL
- T2** ALUMINUM TRELLIS 2x8 WALL FASCIA COLOR = CITYSCAPE
- T3** TILE (AT BASE OF BATTEN SYSTEM) BY EUROWEST DELUXE COLLECTION
 COLOR: ABSOLUTE BLACK
 GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
- TR** TRIM - CEMENT BOARD 1x. - PAINT PER EXTERIOR COLOR SCHEME
- WP** FULLERTON PRE-FINISHED WALL PANELS: - TEXTURE PATTERN, HAND-FLOAT FINISH & PER A3.0 - PAINT PER EXTERIOR COLOR SCHEME - or BLOCK CAST FINISH ALTERNATE PANEL - or BRICK CAST FINISH ALTERNATE PANEL
 *ALTERNATE MATERIAL: STUCCO FINISH. - SEE NOTE "ST"
 **VERIFY IN FIELD IF BRICK OR CMU WALL IS BEHIND MANSARD AFTER REMOVAL



1 NON DRIVE-THRU ELEVATION - EAST
 1/4" = 1'-0"

SHEET NO.	TITLE	DRAWN BY	DATE ISSUED	REVIEWED BY	DATE ISSUED	DESCRIPTION	SITE ADDRESS	DWA	BY
A2.0	McDONALD'S BUILDING MODIFICATIONS	DMA-MI TEAM	12/23/2020	12/23/2020	12/23/2020	1511 SERIES BUILDING MODIFICATIONS	6491 HIGHLAND ROAD, WHITE LAKE, MI	12/23/2020	12/23/2020

STATE OF MICHIGAN
 FRANK Z. MARTIN
 ARCHITECT
 No. 1301019881
 LICENSED PROFESSIONAL ARCHITECT

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D/M/A #18034R