

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
REGULAR VIRTUAL MEETING
June 24, 2021**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Kathleen Aseltyne, present in White Lake, MI

Nik Schillack, present in White Lake, MI

Debby Dehart- Planning Commission Liaison, present in White Lake, MI

Jo Spencer- Chairperson, present in White Lake, MI

Michael Powell, Township Board Liaison, present in Cincinnati, OH

Absent:

Dave Walz, Vice Chairperson

Others:

Justin Quagliata, Staff Planner

Hannah Micallef, Recording Secretary

APPROVAL OF AGENDA

MOVED by Member Schillack, **SUPPORTED** by Member Dehart to approved the agenda as presented. The motion **CARRIED** with a voice vote (5 yes votes).

APPROVAL OF MINUTES:

- a. Zoning Board of Appeals Regular Meeting of May 27, 2021

MOVED by Member Dehart, **SUPPORTED** by Member Aseltyne to approve the Zoning Board of Appeals Regular Meeting Minutes of May 27, 2021 as presented. The motion **CARRIED** with a voice vote (5 yes votes).

CONTINUING BUSINESS:

There was no continuing business.

NEW BUSINESS:

- a. Applicant: John Rozanski
2704 Wabum Road
White Lake, MI 48386
- Location: **8565 Pontiac Lake Road**
White Lake, MI 48386 identified as 12-13-328-003
- Request: The applicant requests to construct an apartment building and associated parking lot, requiring variances from Article 3.1.9.E, RM-2 Multiple Family Residential Side-Yard Setback and Minimum Lot Width. A variance from Article 5.11.A, Off-Street Parking is required due to the parking setbacks. A variance from Article 5.19.N.i.c, Dumpsters and Trash Storage Enclosures is required for the dumpster projection in front of a principal building. A variance from Article 5, Section 11.Q.xviii is required to waive the installation of parking area curbing.

Chairperson Spencer noted for the record that 13 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Member Schillack asked staff if the units were reduced from 14 units to 12 units. Staff Planner Quagliata confirmed. Member Schillack asked staff if curbing was added. Staff Planner Quagliata said no. Member Schillack asked staff if landscaping fell into the ZBA's purview. Staff Planner Quagliata said yes, screening was required per the Zoning Ordinance since the property was adjacent to residentially zoned property.

Mr. Brian Howard, architect for the project, was present to speak on behalf of the applicant. He said when he reduced two units from the original plan, he was able to reduce the parking. By reducing the building footprint, he was able to pull it out of the natural features setback. He said more landscaping would be added around the parking area. He said there was no intent to eliminate curbing, and he did not notice it was missing on the plans. Curb and gutter would be installed around the parking lot.

Chairperson Spencer asked staff if the plans showed the screening material for the dumpster. Staff Planner Quagliata said the plans showed an 8' poured concrete or block wall with an 8' metal gate; he added the ordinance did not allow poured concrete walls for dumpster enclosures. Chairperson Spencer asked staff what materials the building would be built with. Staff Planner Quagliata said it would be a combination of brick (vener) and composite siding.

Chairperson Spencer asked Mr. Howard if the dumpster enclosure could be designed to have the same material that the building would have. Mr. Howard said yes, the enclosure could be constructed with brick veneer.

Member Powell asked staff if there was a way to prevent the dumpster gates of being open all day. Staff Planner Quagliata said the only way to ensure that would be a self-closing or electronic gate.

Chairperson Spencer opened the public hearing at 7:36 P.M. Seeing no public comment, she closed the public hearing at 7:36 P.M.

John Rozanski, applicant, was also present. He said he would beautify the dumpster enclosure as much as possible due to the location. He added he planned on isolating the building with landscaping. Mr. Howard said the idea was to soften the building from the parking area, and there would be landscaping lining the walkways.

Staff Planner Quagliata stated any condition regarding landscaping would have to be specific.

Member Dehart asked staff if irrigation was necessary. Staff Planner Quagliata said yes, and an irrigation plan was a requirement for final site plan approval.

Staff Planner Quagliata went through the standards from Article 7, Section 37 from the ClearZoning Ordinance:

A. Practical Difficulty

In regards to side yard setback:

- Member Powell said the site itself had a number of practical difficulties. There were drawbacks in order to make the site conform with its zoning.

In regards to minimum lot width:

- Chairperson Spencer said the lot was not 200' wide

In regards to parking setbacks on the side yards:

- Chairperson Spencer said the applicant reduced the amount of setback variance requested since coming before the ZBA in February.
- Member Dehart said the front parking setback was due to the natural feature setback.
- Member Schillack said it would be better to keep cars away from the river due to potential car oil/car fluid run off into the river.

In regards to the projection and setback of the dumpster enclosure:

- Member Dehart said there was no other place for a dumpster.

B. Unique Situation

- Chairperson Spencer said the lot was nonconforming. Mr. Schillack added the river made the lot unique as well. The ZBA concurred this applied to all requested variances.

C. Not Self-Created

- Member Schillack said the river was an existing feature and not created by the applicant. The ZBA concurred this applied to all requested variances.

D. Substantial Justice

- Member Schillack said allowing the applicant to construct the building would grant him substantial justice. Chairperson Spencer agreed. The ZBA concurred this applied to all requested variances.

E. Minimum Variance Necessary

- Chairperson Spencer said the applicant had been working with Township staff regarding the needed variances and believed these variances were the minimum necessary. Member Schillack agreed. The ZBA concurred this applied to all requested variances.

Member Schillack MOVED to approve the variances requested by John Rozanski from Articles 3.1.9.E, 5.11.A.iii, 5.11.A.iv, and 5.19.N.i.C of the Zoning Ordinance for Parcel Number 12-13-328-003, identified as 8565 Pontiac Lake Road, in order to construct an apartment building that would encroach 30 feet into the required west side yard setback. Parking setback variances are granted to encroach 30 feet into the required front yard setback, 65 feet into the required west side yard setback, and 16.5 feet into the required east side yard setback. A 2.5-foot variance and 38-foot variance are granted to allow the dumpster enclosure to encroach into the required front yard setback and project in front of the principal building. A 30-foot variance from the required lot width is also granted. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **The Applicant shall receive preliminary site plan approval from the Township Board and final site plan approval from the Planning Commission.**
- **A permit from the Road Commission for Oakland County (RCOC) shall be required for all work within the Pontiac Lake Road right-of-way.**
- **A permit from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) shall be required for stormwater discharge into the Huron River/wetland.**
- **The Planning Commission shall not approve the landscape plan without the following elements:**
 - **3-foot masonry screen wall along the north and west property lines.**
 - **10 Arborvitae, a minimum of 6' in height at the time of planting, along the west side of the parking lot.**
 - **Dumpster enclosure shall match the same brick as the facade of the building with a metal backed wooden gate painted white.**
 - **A continuous juniper or like evergreen border around the dumpster enclosure, a minimum of 8' in height at the time of planting.**
 - **A minimum of 4 to 5 street trees along Pontiac Lake Road.**

**SUPPORTED by Member Dehart, and the motion CARRIED with a roll call vote (5 yes votes):
(Schillack/yes, Dehart/yes, Powell/yes, Aseltyne/yes, Spencer/yes)**

- b.** **Applicant:** Scott A. Summers
 7032 Biscayne Avenue
 White Lake, MI 48383
- Location:** **7032 Biscayne Avenue**
 White Lake, MI 48383 identified as 12-28-102-003
- Request:** The applicant requests to construct an addition to a single-family house, requiring variances from Article 3.1.5.E, R1-C Single Family Residential Side-Yard Setback and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures will be required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 21 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Member Schillack asked staff if the side yard setback variance requested was due to wanting to keep a window. Staff Planner Quagliata confirmed.

Member Dehart asked staff what year the house was built. Staff Planner Quagliata said the house was built in 1960.

Mr. Scott Summers, applicant, was present to speak on his case. He spoke with staff in the Planning Department regarding his plans. He wanted to construct the addition to keep consistency with the rest of the house. He originally wanted to build a lake room off the back, but after speaking with staff, he revised the plans to modify the overhang. He said the estimate of the value of work was due to the increase in lumber prices.

Member Schillack asked staff for the proposed roof overhang setback. Staff Planner Quagliata said 5.3'.

Member Aseltyne asked the applicant what the practical difficulty was in his situation. Mr. Summers said the property was oddly shaped and on an angle.

Chairperson Spencer opened the public hearing at 8:50 P.M. Seeing no public comment, she closed the public hearing at 8:51 P.M.

Staff Planner Quagliata went through the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Powell said the shape of the lot was not in the applicant's control, and he appreciated the addition being jogged to lessen the variance needed.
- B. Unique Situation
 - Member Schillack said the house was built in 1960s, and the standards had changed since.
- C. Not Self-Created
 - Chairperson Spencer said the applicant did not build the house and bought it as it was.
- D. Substantial Justice
 - Member Schillack said the addition would not block neighbor's views.
- E. Minimum Variances Necessary
 - Chairperson Spencer said the applicant chose to jog the addition and not put it directly on the footpath.

Member Aseltyne MOVED to approve the variances requested by Scott Summers from Article 3.1.5.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-28-102-003, identified as 7032 Biscayne Avenue, in order to construct an addition that would encroach 3.4 feet into the required east side yard setback and exceed the allowed value of improvements to a nonconforming structure by 193%. An 18.3-foot variance from the required lot width is also granted from Article 3.1.5.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **An as-built survey shall be required to verify the roof overhang setback from the east side lot line.**
- **The plans shall be revised for consistency to clarify the roof overhang setback.**

**Member Dehart SECONDED, and the motion carried with a roll call vote (5 yes votes):
(Aseltyne/yes, Dehart/yes, Schillack/yes, Powell/yes, Spencer/yes)**

- c. Applicant: David Nemshick
9323 Gale Road
White Lake, MI 48386
- Location: **9323 Gale Road**
White Lake, MI 48386 identified as 12-11-451-019
- Request: The applicant requests to construct an addition to a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Side-Yard Setback, Front-Yard Setback, and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures will be required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 19 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Member Powell asked staff if the floorplan for the existing structure was submitted. Staff Planner Quagliata said renderings were submitted, but not floor plans. The existing house had two bedrooms, and the addition would contain two more, bringing the total bedrooms after the addition to four.

Member Schillack asked staff if the value of the project was determined after the project was complete. Staff Planner Quagliata said applicants were required to give an estimate to the value of the work being done, as that was how building permit fees were determined. The International Code Council, based on current construction costs, estimated the value of the addition at \$169,000.

Member Aseltyne asked staff what the percentage over SEV the proposed value of work would be. Staff Planner Quagliata said it would be 860%.

Mr. Nemschick, the applicant, was present to speak on his case. He said he requested a 3' variance to allow for a large distance or fire lane on the east side of the house. He would also be able to add a third bay on the east side. He said he would sign paperwork to certify the living space over the garage would not be used as a second dwelling. He said the addition would be connected to the current house, and not separated from the existing structure.

Member Powell asked the applicant how the proposed bedrooms in the addition would be used. Mr. Nemschick said one of the existing bedrooms would be eliminated and made into an office, and the other could be eliminated to widen the living room area. The new bedrooms would be made into a master bedroom and a potential nursery.

Member Aselyne asked the applicant why he didn't want to demolish the current house since the addition was the size of a new house. Mr. Nemschick said it would be inconvenient to tear the entire house down during this time, and he worked from home.

Member Powell stated the applicant could have torn down the existing house and build a new house that would not require variances. The variances, if granted, would run with the land. Mr. Nemschick said his lot was 70' wide and he wanted the requested variances for the side yard for neighbors and himself to get access to the area behind the back of the house.

Member Dehart said if the house was centered on the lot, there would be room on the east side, and lessen the variances requested. Mr. Nemschick said without the garage, there would be 21'.

Chairperson Spencer opened the public hearing at 9:29 P.M. Seeing no public comment, she closed the public hearing at 9:29 P.M.

Staff Planner Quagliata went through the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Powell did not see a practical difficulty. A garage could be constructed closer to the existing structure, and there could be architectural changes to lessen the variances needed. Chairperson Spencer and Member Aselyne agreed.
 - Member Dehart said the lot was nonconforming. Member Schillack agreed, and saw the practical difficulty regarding the SEV as well.
- B. Unique Situation
 - Chairperson Spencer said the lot had room to shift the house.
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Member Dehart MOVED to approve the variances requested by David Nemshick from Article 3.1.6.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-11-451-019, identified as 9323 Gale Road, in order to construct an addition that would encroach 3 feet into the required west side yard setback and 12.6 feet into the required front yard setback, and exceed the allowed value of improvements to a nonconforming structure by 860%. A 10-foot variance from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:

- **The Oakland County Health Division shall certify the on-site water system is properly designed to handle the anticipated additional load prior to issuance of a building permit.**
- **The addition plans shall be reviewed by the Township's Department of Public Services prior to issuance of a building permit.**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **The principal dwelling unit shall be owner-occupied and the addition shall not be rented separately from the principal dwelling unit.**
- **This approval shall not be interpreted to permit creation of a for-rent apartment, or the conversion of the existing single-family unit into a duplex or the like.**
- **The second-story addition shall not exceed 550 square feet in size.**
- **The second-story addition shall not include more than one (1) bedroom.**
- **The addition shall not exceed the maximum building height of the R1-D zoning district. Architectural plans, drawn to scale, shall be submitted at the time of reapplication for a building permit.**
- **Access to the addition shall be provided from the enclosed connection on the north side of the house. Any other exterior entrance to the addition shall be prohibited.**
- **Exterior alteration/renovation shall not change the overall single-family character of the dwelling unit or the surrounding neighborhood, as determined by the Planning Department.**
- **Prior to issuance of a building permit, the Applicant shall submit a revised floor plan for the addition, which shall be subject to the approval of the Planning Department.**
- **No new street address shall be assigned to the addition.**
- **All utility connections and services shall be shared between the principal dwelling unit and addition. No new meters (electric, gas, or otherwise) shall be installed to serve the addition.**
- **The addition shall not have its own cooking facilities.**
- **Prior to issuance of a building permit, an agreement shall be prepared by the Township Attorney, to be signed by the Applicant and recorded with the Oakland County Register of Deeds, stating the addition shall not be used as a secondary dwelling unit. The agreement shall be binding on the Applicant and all future owners of the property. The Applicant shall be billed the cost of the Township Attorney's fees to draft the agreement.**
- **Any future enlargement or alteration of the addition shall require approval of the Zoning Board of Appeals.**

Member Dehart asked to amend the motion to alter condition number four to be: the addition shall not be rented separately from the principal dwelling unit.

**SUPPORTED by Member Aseltyne, and the motion FAILED with a roll call vote (4 no votes):
(Dehart/yes, Aseltyne/no, Schillack/no, Powell/no, Spencer/no)**

Member Aseltyne MOVED to deny the variances requested by David Nemshick for Parcel Number 12-11-451-019, identified as 9323 Gale Road, due to the following reason(s):

Failure to meet the variance standards outlined in Article 7, Section 37 of the ClearZoning Ordinance.

**Member Powell SUPPORTED, and the motion CARRIED with a roll call vote (4 yes votes):
(Aseltyne/yes, Powell/yes, Dehart/no, Schillack/yes, Spencer/yes)**

The ZBA recessed at 10:05 P.M. The ZBA returned from recess at 10:11 P.M.

- d. Applicant: Todd Hammerick
 26204 Barrington Circle
 Commerce, MI 48390
- Location: **8414 Cascade Street**
 White Lake, MI 48386 identified as 12-36-453-012
- Request: The applicant requests to construct a single-family house, requiring
 variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard
 Setback, Side-Yard Setback, Lot Coverage, Minimum Lot Area, and
 Minimum Lot Width.

Chairperson Spencer noted for the record that 30 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Member Schillack asked staff how close the neighboring house to the west was to the applicant's property. Staff Planner Quagliata said 3.8'. Member Schillack said there was a tree on the west side yard property line.

Member Aselyne asked staff if the house were smaller, would it be in conformance. Staff Planner Quagliata said in order to comply with the side yard setbacks, the house could only be 20' wide.

Ghassan Abdelnour, 24001 Orchard Lake, Farmington, MI, architect, was present to speak on behalf of the applicant. He was the architect for the previous homeowner when this request was brought in front of the ZBA in October, 2020.

Todd Hammerick, applicant, was present to speak on his case. He said he spoke to his neighbor and the fence on the west would be taken down.

Member Powell asked Mr. Abdelnour where the HVAC system would be placed. Mr. Abdelnour said the HVAC would be in the rear of the house and hidden. Member Powell asked Mr. Abdelnour how gutter drainage would be dealt with. Mr. Abdelnour said a gutter system would be installed. Mr. Powell asked Mr. Abdelnour if adding the dormer created a building height problem. Mr. Abdelnour said no, and Mr. Hammerick said the dormer would be extended laterally, not vertically.

Chairperson Spencer opened the public hearing at 10:30 P.M. Seeing no public comment, she closed the public hearing at 10:30 P.M.

Staff Planner Quagliata went through the standards from Article 7, Article 37, from the ClearZoning Ordinance:

- A. Practical Difficulty
- Chairperson Spencer said the lot was a practical difficulty. Members Dehart and Schillack agreed.
- B. Unique Situation
- Member Dehart said the lot size posed a unique situation.

- C. Not Self-Created
 - Chairperson Spencer said the applicant did not have anything to do with the shape of the lot.
- D. Substantial Justice
 - Member Schillack said most of the surrounding houses had similar view lines.
- E. Minimum Variance Necessary
 - Chairperson Spencer said the applicant was requesting the minimum, as a 20' wide house would not be feasible.

Member Schillack MOVED to approve the variances requested by Todd Hammerick from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-36-453-012, identified as 8414 Cascade Street, in order to construct a new house that would exceed the allowed lot coverage by 26.86%, encroach 10 feet into the required front yard setback, and 5 feet into the required side yard setback from both the east and west property lines. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**
- **In no event shall the projection of the roof overhang be closer than five (5) feet to the east and west side lot lines, including the gutters.**
- **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard property line.**
- **All roof drainage will be picked up in downspouts and pipes to eliminate surface drainage down the property line from the home.**

**Member Powell SUPPORTED, and the motion CARRIED with a roll call vote (5 yes votes):
(Schillack/yes, Powell/yes, Spencer/yes, Dehart/yes, Aseltyne/yes)**

OTHER BUSINESS
No other business.

ADJOURNMENT
MOVED by Member Aseltyne, SUPPORTED by Member Schillack to adjourn the meeting at 10:41 P.M.
The motion CARRIED with a voice vote (5 yes votes).

NEXT MEETING DATE: July 22, 2021 Regular Meeting

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: July 22, 2021

Agenda item: 6a

Appeal Date: July 22, 2021

Applicant: Stone Hollow Properties & Development LLC

Address: 1100 Corporate Drive
Milford, MI 48381

Zoning: R1-D Single Family Residential

Location: 4355 Jackson Boulevard
White Lake, MI 48383

Property Description

The approximately 0.209-acre (9,105 square feet, excluding the road right-of-way) parcel identified as 4355 Jackson Boulevard is located west of Ormond Road, east of Jackson Court, and zoned R1-D (Single Family Residential). The proposed house would utilize a private well for potable water and a private septic system for sanitation.

Applicant's Proposal

Stone Hollow Properties & Development LLC, the applicant, on behalf of property owner Laurie Martin, is proposing to construct a new house.

Planner's Report

The parcel is nonconforming due to a 2,895 square foot deficiency in lot area and a 5-foot deficiency in lot width (75 feet in width); in the R1-D zoning district the minimum lot size requirement is 12,000 square feet and the minimum lot width requirement is 80 feet.

The applicant is proposing to construct an approximately 4,098 square foot three-story house including an attached two-car garage (20 feet by 20 feet; 400 square feet). Excluding the garage, the ground level is 955 square feet in size. Two, 350 square foot covered porches are proposed on the front (south) side of the house, on the ground level and second floor. The submitted site plan indicates the covered porch(es) would project 12.16 feet off the front of the house, resulting in a 30-foot front yard setback. The architectural plans show the porch posts projecting 12.52 feet off the front of the house; this unaccounted for 0.36-foot projection results in a 29.64-foot front yard setback. Note the second level covered porch has a roof overhang extending one inch beyond the 6" x 6" posts. A variance (4.32 inches) from the front yard requirement was not requested or published.

The proposed house is considered three stories with a building height of 33.5 feet from grade. Both the garage and front entrance to the house are at ground level. A basement or cellar is counted as a story if over fifty (50) percent of its height is above the level from which the height of the building is measured, which is the vertical distance from the average grade at the front of the building to the mean height level between the eaves and ridge. A variance of 8.5 feet and one story is requested to exceed the allowed building height.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Maximum building height	25 feet or 2 stories, whichever is less	8.5 feet; 1 story	33.5 feet; 3 stories
2	Article 3.1.6.E	Minimum lot area	12,000 feet	2,895 square feet	9,105 square feet
3	Article 3.1.6.E	Minimum lot width	80 feet	5 feet	75 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Stone Hollow Properties & Development LLC from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-07-181-004, identified as 4355 Jackson Boulevard, in order to construct a new house that would exceed the allowed building height by 8.5 feet and one story. A 5-foot variance from the required lot width and 2,895 square foot variance from the required lot size are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.
- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.

Denial: I move to deny the variances requested by Stone Hollow Properties & Development LLC for Parcel Number 12-07-181-004, identified as 4355 Jackson Boulevard, due to the following reason(s):

Table: I move to table the variance requests of Stone Hollow Properties & Development LLC for Parcel Number 12-07-181-004, identified as 4355 Jackson Boulevard, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated June 21, 2021.
2. Site plan dated June 22, 2021.
3. House plans dated June 1, 2021.
4. Letter of denial from the Building Department dated June 17, 2021.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

emailing digital plan set

**CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION**

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Stone hollow Properties & Development LLC PHONE: 248-672-5521

ADDRESS: 1100 Corporate Dr Milford Mi. 48381

APPLICANT'S EMAILADDRESS: Mario@spartanhomes.net

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 4355 Jackson PARCEL # 12-07-181-004

CURRENT ZONING: _____ PARCEL SIZE: 75 x 158

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: 3.1.6

VALUE OF IMPROVEMENT: \$ 600,000 SEV OF EXISITING STRUCTURE: \$ 0

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

Lot was originally platted at 75 ft wide Requesting variance from 80ft width minimum


Lot has an uphill slope from the road. Requesting variance to 33.5 ft high would be consistant with others in the area

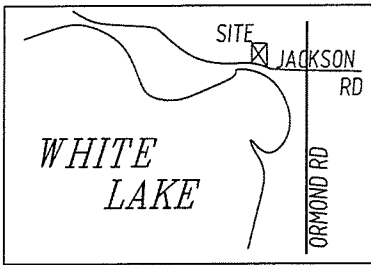
It would also not affect any other home view in the area on sides or rear of lot.

Plot plan has been revised (See attached) to meet the 30ft front yard setback

We believe the property meets A,B & C for practical difficulty

APPLICATION FEE: \$350-385 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE:  DATE: 6-21-21



LOCATION MAP

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN T3N, R8E, SEC 7 PART OF SE 1/4 OF NW FRC 1/4, BEGINNING at a Point 682.80 Feet from the Center of the Section, Thence North 158 Feet, Thence East 75 Feet, Thence South 158 Feet, Thence West 75 Feet to the Point of Beginning. White Lake Township, Oakland County.

LEGEND

- 880 --- Existing Contour
- 880 — Proposed Contour
- ⊙ Proposed Well
- 100.00Ft. N90°00'00"E Property Lines

ONSITE CONVENTIONAL WASTEWATER TREATMENT SYSTEM SHALL MEET ALL REGULATIONS AS DESCRIBED IN THE OAKLAND COUNTY HEALTH DIVISION SANITARY CODE ARTICLE III

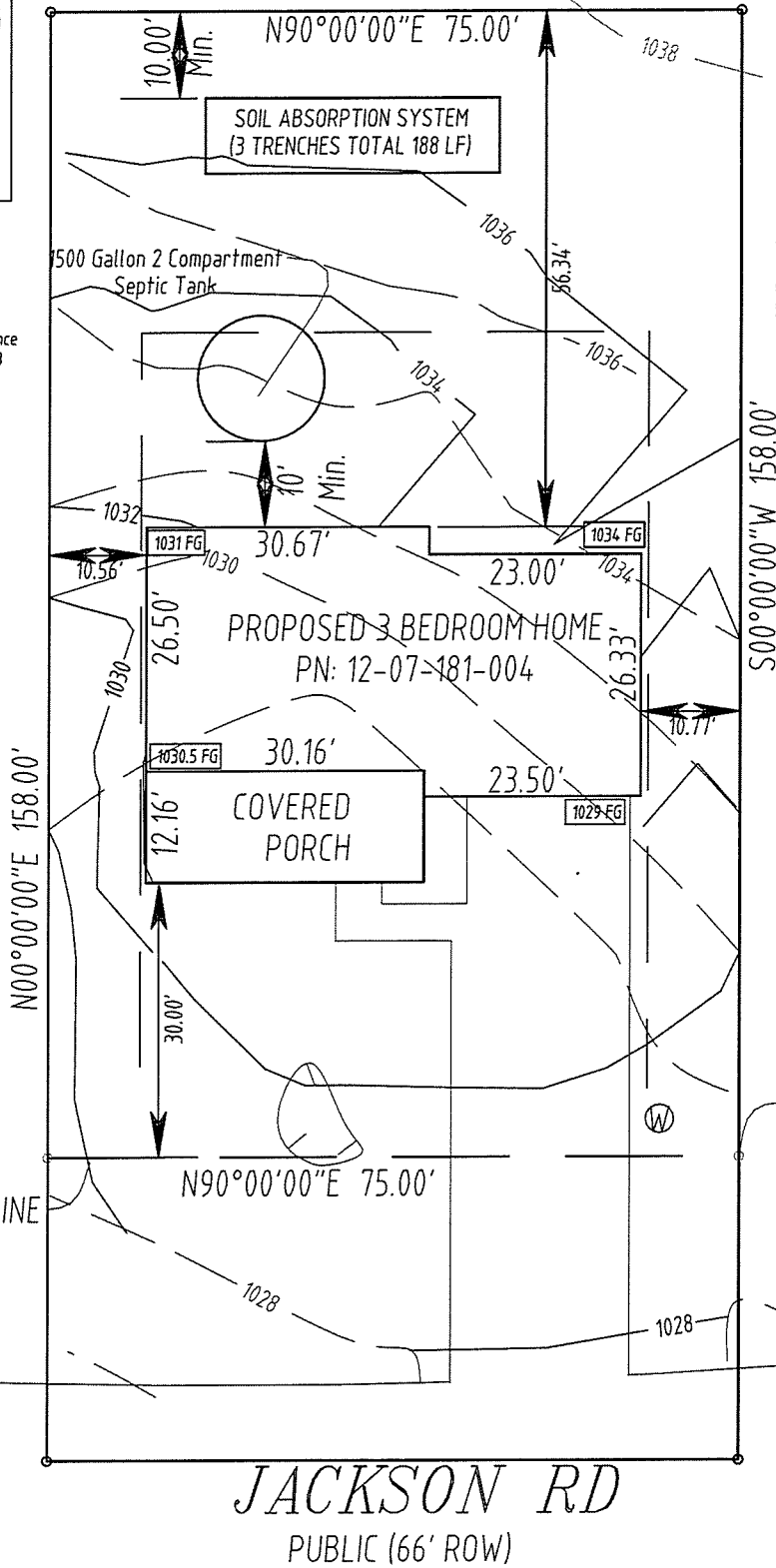
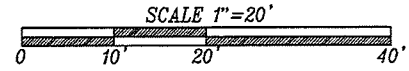
NO ADDITIONAL WATER RUN OFF WILL BE CREATED, DUE TO THE PROPOSED PROJECT.

MAINTAIN SWALE ALONG PROPERTY LINES AND AWAY FROM PROPOSED HOME.

PROPERTY SHALL CONFORM WITH TOWNSHIP ORDINANCE, STORM WATER MANAGEMENT

COMPLETE SANITARY DESIGN TO BE PROVIDED BY OTHERS

ROW LINE

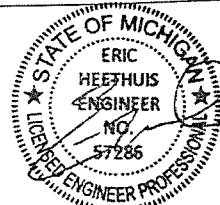


PROPOSED BASEMENT ELEVATION = 1029.00

PROPOSED FIRST FLOOR ELEVATION = 1038.79



THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.



Site Plan

Owner: Gougeon Trust, Jacqueline
19185 Tipsico Lake Rd Fenton MI 48430
PN: 12-07-181-004
Engineer: Eric S. Heethuis, P.E.
14305 Wright Dr Linden, MI 48451
(517) 202-4806
6/22/21

SPEC HOME

JACKSON BLVD.
WHITE LAKE TWP. MI

Sheet List

_C1	COVER SHEET	FINAL/MIRROR
A1.0	FOUNDATION PLAN	FINAL/MIRROR
A1.1	FLOOR PLANS	FINAL/MIRROR
A1.2	ROOF PLAN	FINAL/MIRROR
A1.4	REFLECTED CEILING PLANS	FINAL/MIRROR
A2.1	ELEVATIONS	FINAL/MIRROR
A2.2	ELEVATIONS	FINAL/MIRROR
A3.1	SECTIONS	FINAL/MIRROR

AREA	
Name	Area
FIRST FLOOR	1355 SF
SECOND FLOOR	1388 SF
	2743 SF

BUILDING DATA :

ZONED:	Single Family Residential
SITE SIZE:	36393 SF
USE GROUP:	SINGLE FAMILY
CONSTRUCTION TYP:	LIGHT FRAME WOOD
REVIEW UNDER:	2015 Michigan Residential Code
CONSTRUCTION NOTES:	
1. DRAFT STOPPING:	Mich. Res. Code Sec. R502.12
2. FLOOR LIVE LOAD SLEEPING AREAS:	30 psf
3. FLOOR LIVE LOAD OTHER AREAS:	40 psf
4. ROOF SNOW LOAD:	30 psf
5. WIND LOAD:	90 MPH
6. CONCRETE:	2000 psi
PER. TABLE R402.2, SEVERE WEATHERING POTENTIAL	BASEMENT WALLS 3000 BASEMENT SLABS 3500 PORCHES, SLABS, STEPS EXPOSED TO THE WEATHER 3500
7. SOIL CAPACITY (ASSUMED):	2000 psi

339.2012 Persons exempted. Sec. 2012.

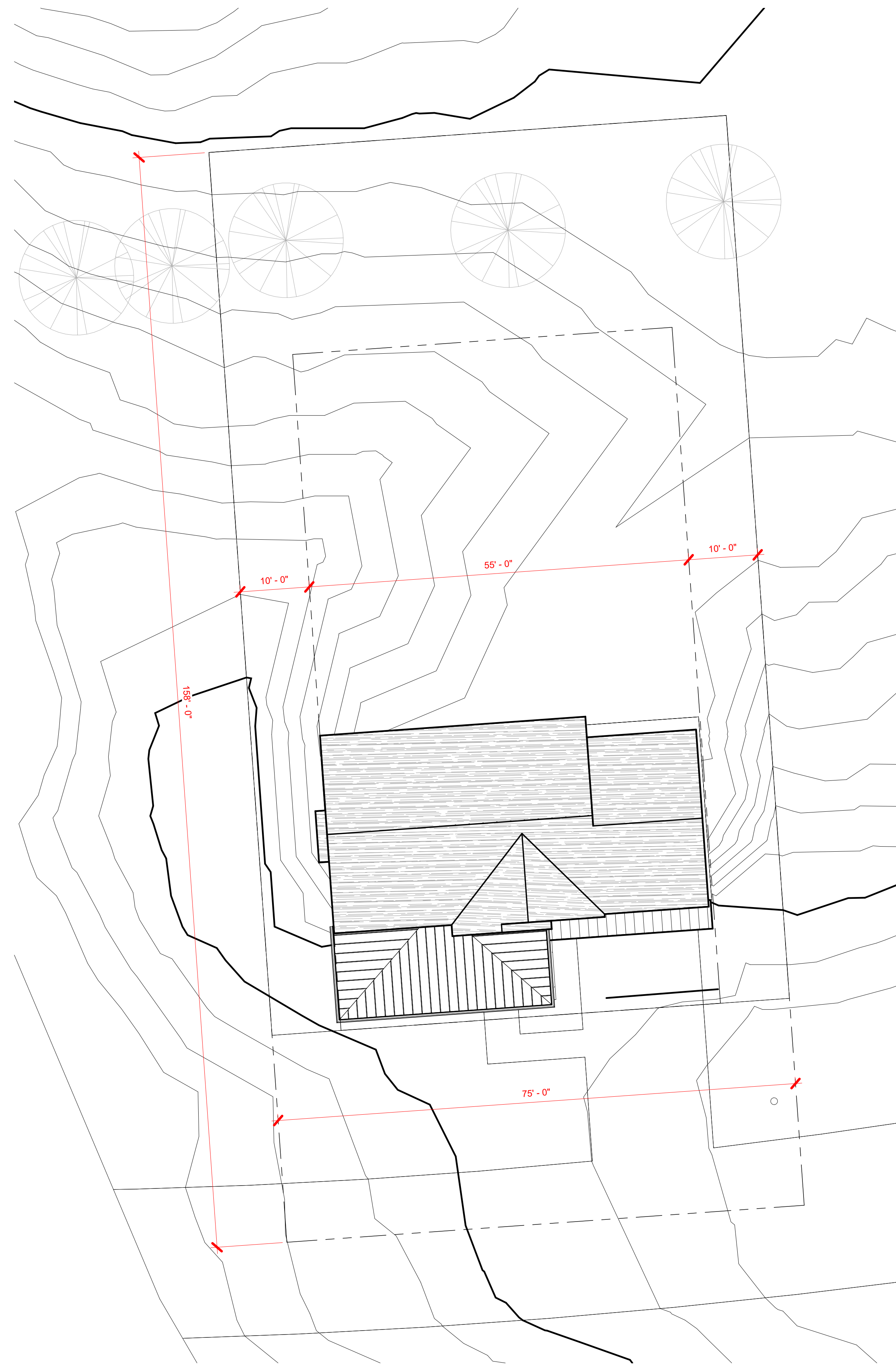
(1) The following persons are exempt from the requirements of this article:
 (a) A professional engineer employed by a railroad or other interstate corporation, whose employment and practice is confined to the property of the corporation.
 (b) A designer of a manufactured product, if the manufacturer of the product assumes responsibility for the quality of the product.
 (c) An owner doing architectural, engineering, or surveying work upon or in connection with the construction of a building on the owner's property for the owner's own use to which employees and the public are not generally to have access.
 (d) A person not licensed under this article who is planning, designing, or directing the construction of a detached 1- and 2-family residence building not exceeding 3,500 square feet in calculated floor area.
 For purposes of this subdivision, detached 1- and 2-family residence building does not include an adult foster care home licensed under the adult foster care facility licensing act, 1979 PA 218, MCL 400.701 to 400.737.
 (e) A person who is licensed to engage in the practice of architecture, professional engineering, or professional surveying in another state while temporarily in this state to present a proposal for services.
 (2) As used in this section:
 (a) "Calculated floor area" means that portion of the total gross area measured to the outside surfaces of exterior walls intended to be habitable space.
 (b) "Habitable space" means space in a building used for living, sleeping, eating, or cooking. Habitable space does not include a heater or utility room, a crawl space, a basement, an attic, a garage, an open porch, a balcony, a terrace, a court, a deck, a bathroom, a toilet room, a closet, a hallway, a storage space, and other similar spaces not used for living, sleeping, eating, or cooking.

History: 1980, Act 299, Imd. Eff. Oct. 21, 1980;-- Am. 1992, Act 103, Eff. Sept. 1, 1992;-- Am. 2002, Act 495, Imd. Eff. July 3, 2002
 Popular Name: Act 299

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRAWL SPACE WALL R-VALUE
5A	.32	.55	38	20	13/17	30	10/13	30	15/19

2 INSULATION

_C1 SCALE: 12" = 1'-0"



1 SITE PLAN

_C1 SCALE: 1" = 10'-0"

NOTE TO CONTRACTORS AND OWNER:
 ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW AND COORDINATE PLANS WITH EXTERIOR BUILDING ELEVATIONS, SECTIONS, AND DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BUILDING ELEVATIONS, SECTIONS, AND DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE THE WORK AND CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OR PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.



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Troy, MI. 48098
248-854-0545

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REVISIONS

NO.	DATE	DESCRIPTION
1	5/11/21	FINAL/MIRROR

PROJECT NAME



SPEC HOME
 JACKSON BLVD.
 WHITE LAKE TWP. MI

SHEET TITLE

COVER SHEET

SHEET DATA

SCALE: As indicated
 JOB: 2112
 ISSUE DATE: 6/1/21

SHEET NUMBER

_C1



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PROJECT NAME



SPEC HOME
JACKSON BLVD.
WHITE LAKE TWP. MI

SHEET TITLE

FOUNDATION PLAN

SHEET DATA

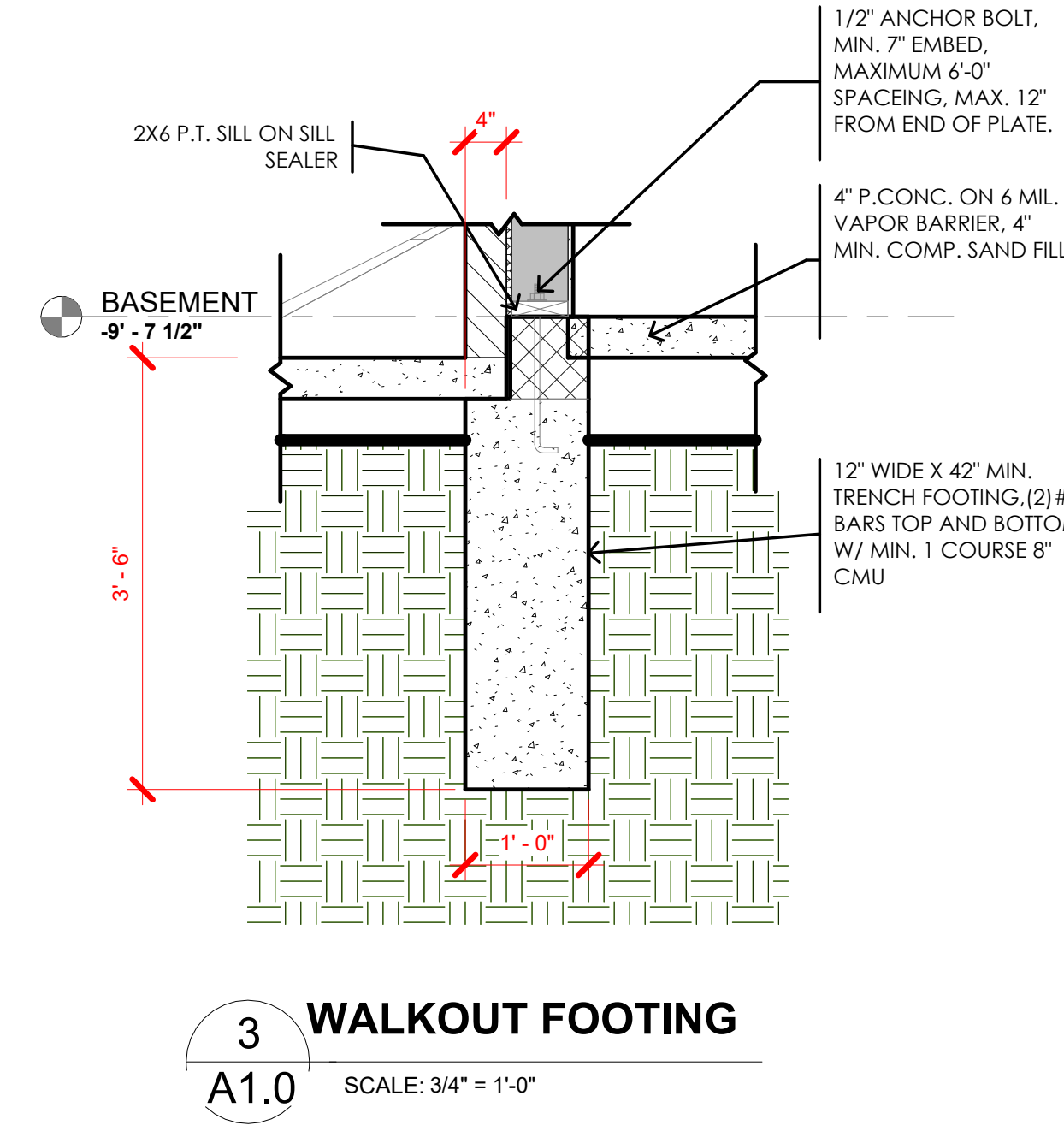
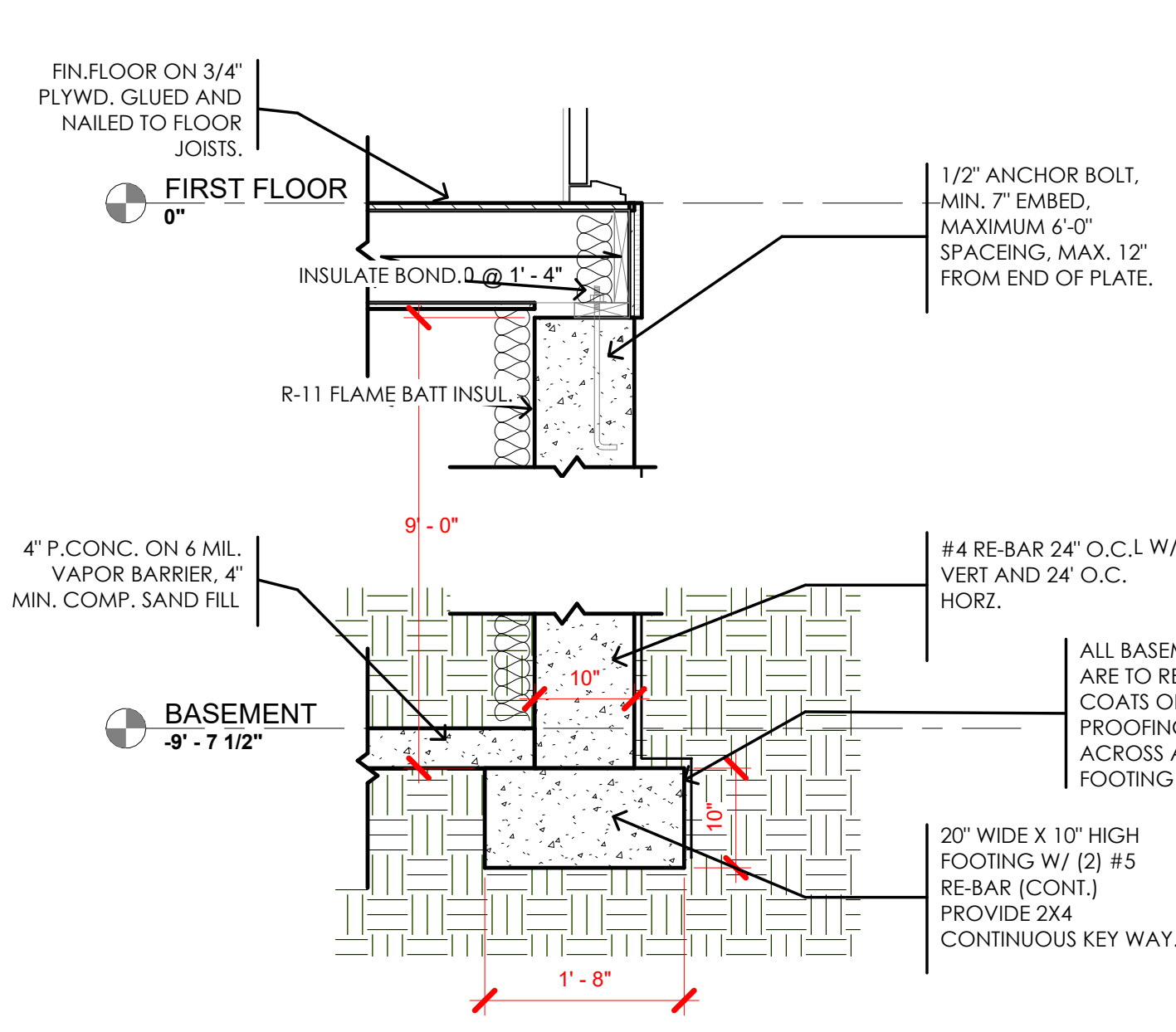
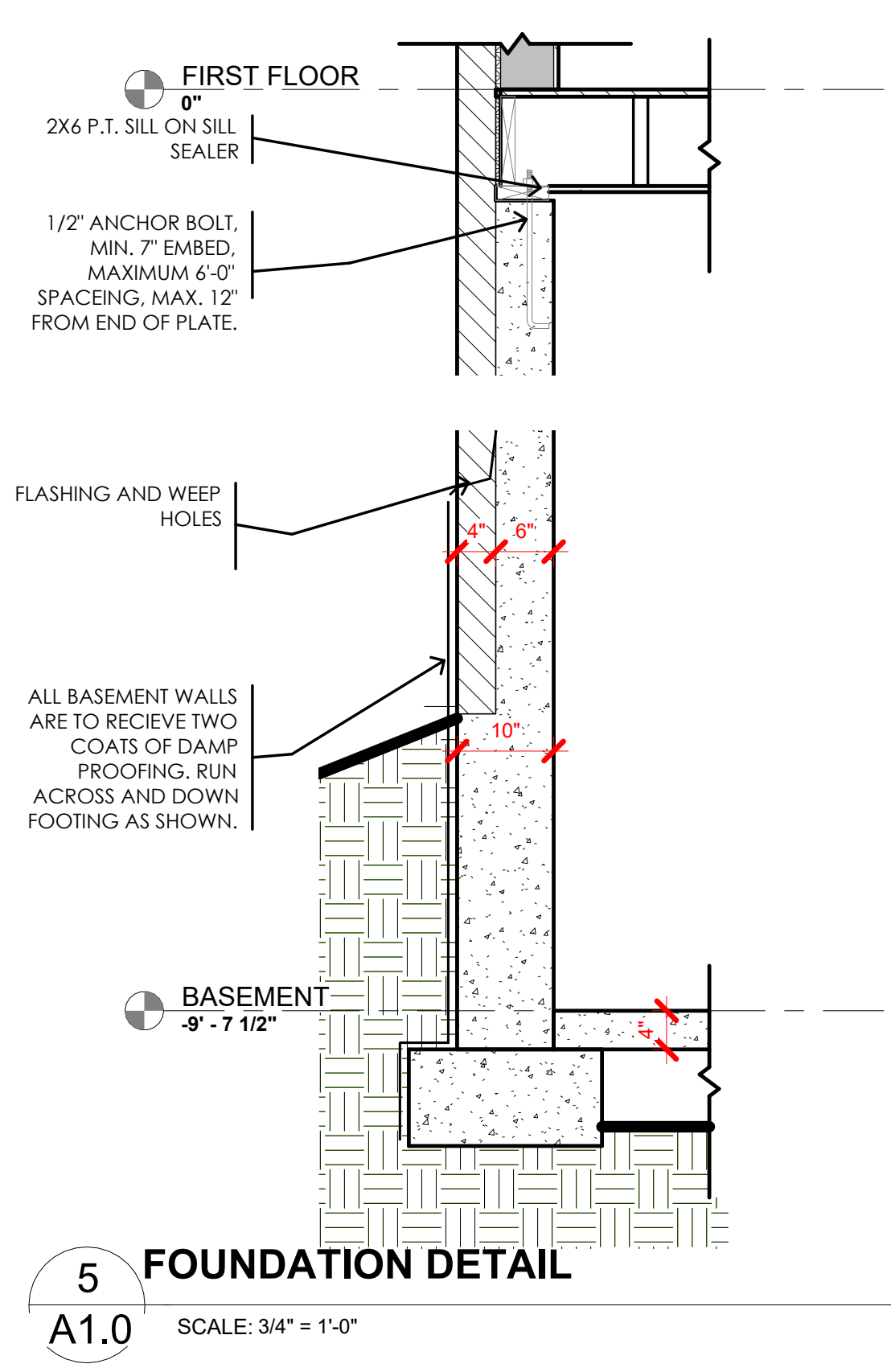
SCALE: As indicated

JOB: 2112

ISSUE DATE: 6/1/21

SHEET NUMBER

A1.0



Deflection Criteria:
LIVE LOAD MAX. DEFLECTION: L/480
TOTAL MAX. DEFLECTION: L/360
LIVE LOAD MAX. DEFLECTION AT AREAS WITH TILE OR MARBLE FLOORING: L/720

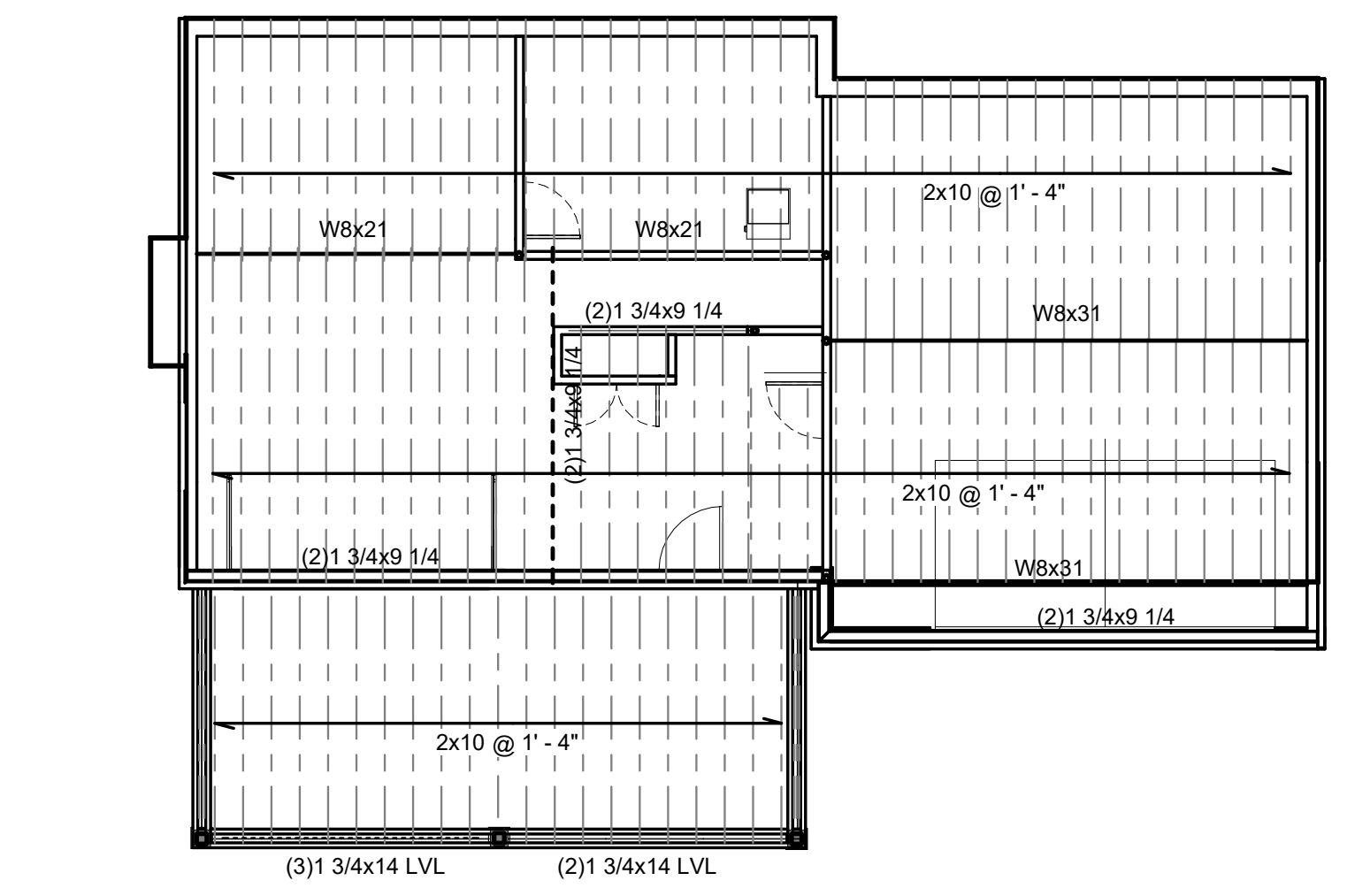
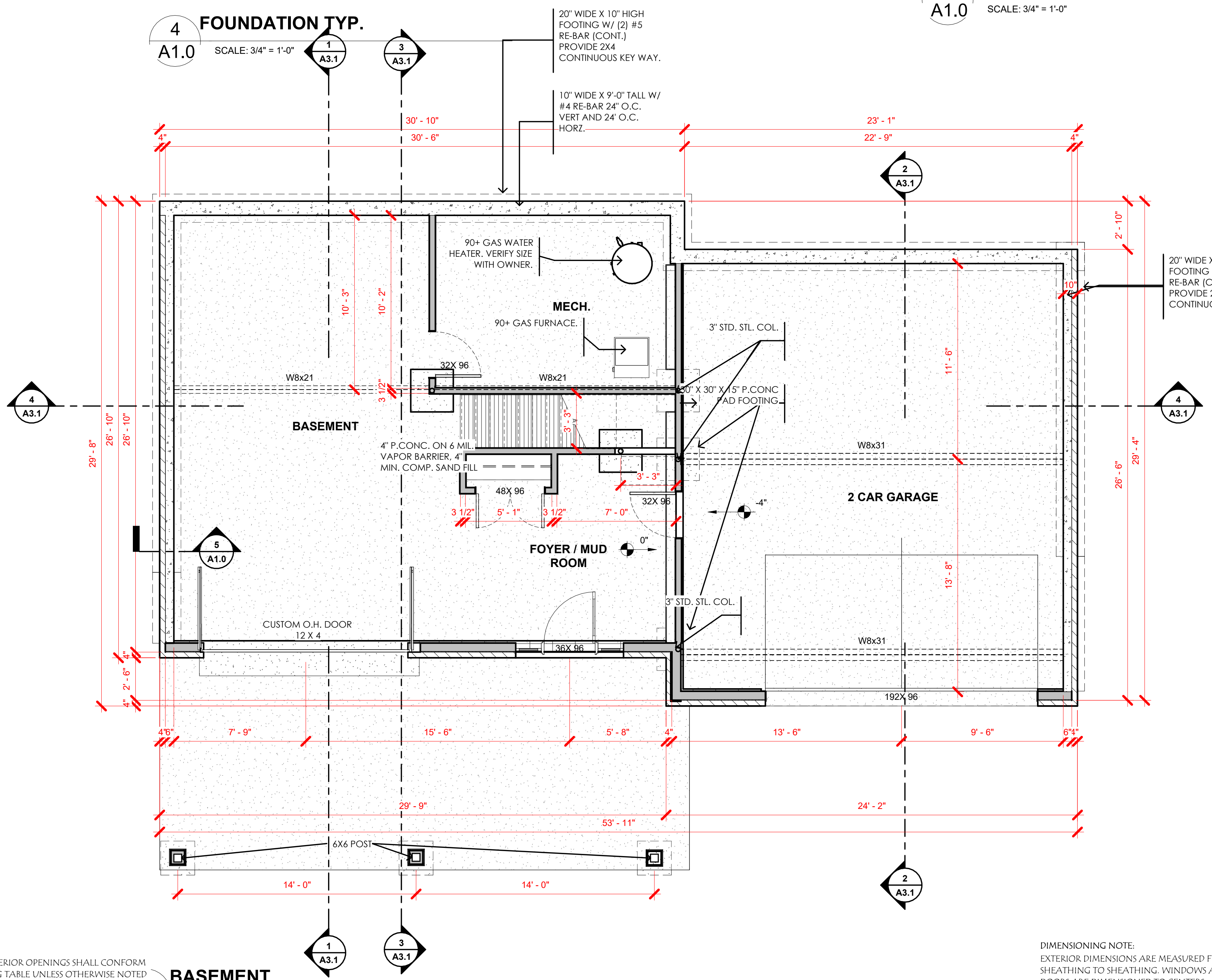
Door & Header Notes:
1. SEE DOOR SCHEDULE FOR DOOR SIZES.
2. UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 6" FROM ADJACENT WALLS ON HINGE SIDE. IF A CASING LARGER THEN 4" IS SELECTED, ADJUST AS NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO.

Dropped Floor Notes:
1. PROVIDE 1-1/2" DROP IN FLOOR AT ALL TILE AND STONE FLOOR AREAS. PROVIDE DOUBLE SILL PLATE AT AREAS OF RAISED FLOOR AND SINGLE SILL PLATE AT AREAS OF DROPPED FLOOR TO ALLOW FOR STONE / TILE AREAS TO ALIGN FLUSH WITH HARD WOOD AREAS.

Floor Plan Height Notes:
1. BASEMENT WALL HEIGHT IS TO BE 9'-0"
2. ALL FIRST FLOOR DOOR, WINDOW, AND HEADER HEIGHTS ARE TO BE 8'-0" UNLESS OTHERWISE NOTED. (NOTE: WINDOWS AND DOORS ARE TO LINE-UP IN THE FINISH. ALL ROUGH FRAMING HEIGHTS ARE TO MATCH)
3. SEE REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
4. ALL SECOND FLOOR DOOR, WINDOW, AND HEADER HEIGHTS ARE TO BE 6'-8" (±) UNLESS OTHERWISE NOTED (NOTE: WINDOWS AND DOORS ARE TO LINE-UP IN THE FINISH. ALL ROUGH FRAMING HEIGHTS ARE TO MATCH) VERIFY OPERABLE PARTS OF WINDOWS ARE MIN. OF 24" ABOVE THE DECK. ADJUST HEADER HGT. AS REQUIRED. V.I.F. WITH WINDOW SIZES.

Gas Piping Notes:
PROVIDE GAS PIPING FOR THE FOLLOWING OR AS DIRECTED BY OWNER:
1. RANGE
2. FIREPLACE(S)
3. FURNACE(S)
4. WATER HEATER
5. DRYER
6. EXTERIOR QUICK DISCONNECT FOR BBQ

Design Loads:
FIRST FLOOR:
LIVE LOAD: 50 PSF
DEAD LOAD: 15 PSF
SECOND FLOOR:
LIVE LOAD: 40 PSF
DEAD LOAD: 10 PSF
ROOF:
LIVE LOAD: 30 PSF
DEAD LOAD: 15 PSF



HEADER SCHEDULE:
HEADERS OVER EXTERIOR OPENINGS SHALL CONFORM TO THE FOLLOWING TABLE UNLESS OTHERWISE NOTED ON ARCHITECTURAL PLANS.

- (2) 2x8: UP TO 4'-6" OPENING WIDTH
- (2) 2x10: UP TO 5'-9" OPENING WIDTH
- (2) 2x12: UP TO 7'-0" OPENING WIDTH
- (3) 2x12: UP TO 8'-1" OPENING WIDTH



DIMENSIONING NOTE:
EXTERIOR DIMENSIONS ARE MEASURED FROM SHEATHING TO SHEATHING, WINDOWS AND DOORS ARE DIMENSIONED TO CENTERS.
INTERIOR DIMENSIONS ARE MEASURED FACE OF STUD WALL TO FACE OF STUD WALLS, INTERIOR DOORS AND CASED OPENINGS ARE TO BE CENTERED ON ROOMS OR 4" OFF WALLS.

FOUNDATION DIMENSIONS ARE MEASURED FROM FACE OF MASONRY TO FACE OF MASONRY.

NOTE TO CONTRACTORS AND OWNER:
ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW AND COORDINATE PLANS WITH EXTERIOR BUILDING ELEVATIONS, SECTIONS, AND DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BUILDING ELEVATIONS, SECTIONS, AND DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE THE WORK AND CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OR PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.



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PROJECT NAME



SPEC HOME
JACKSON BLVD.
WHITE LAKE TWP. MI

SHEET TITLE

FLOOR PLANS

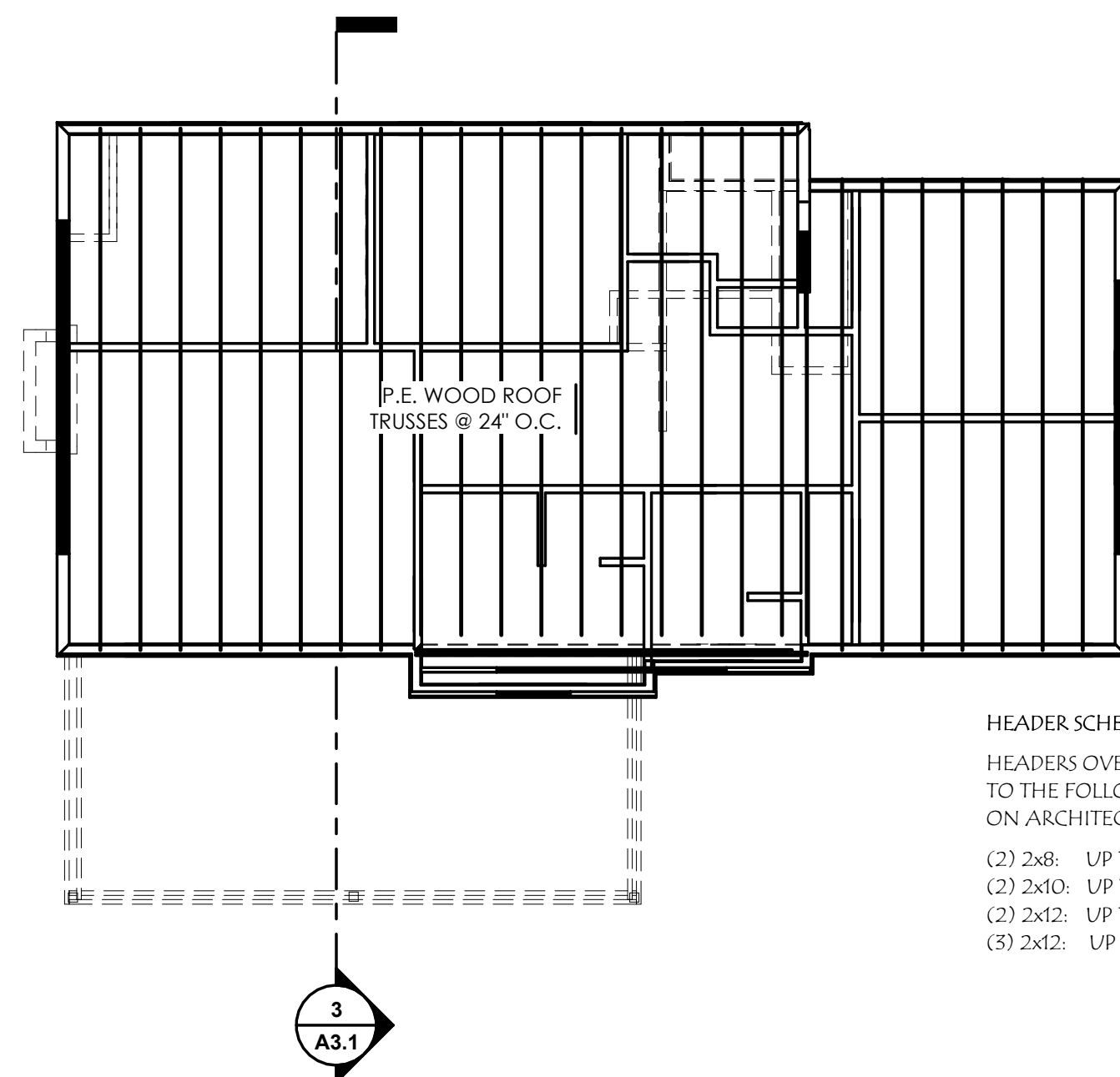
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SCALE: As indicated
JOB: 2112
ISSUE DATE: 6/1/21

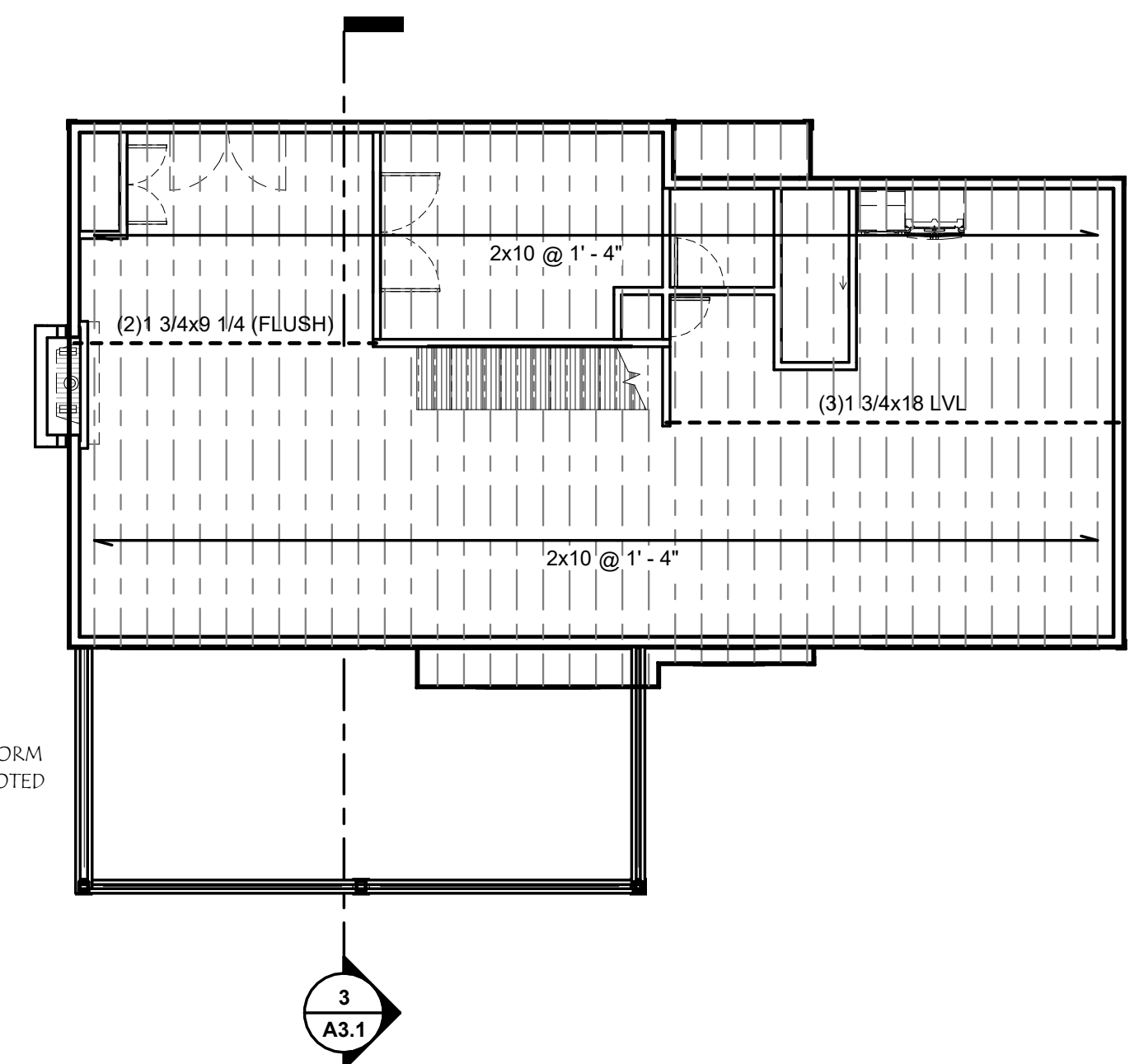
SHEET NUMBER

A1.1

Mark	Type	Width	Height	Manufacturer	Count	Comments
A	32" x 57"	2'-8"	4'-9"	Andersen Corporation	9	
B	36" x 66"	3'-0"	5'-6"	Andersen Corporation	6	
C	60" x 66"	5'-0"	5'-6"	Andersen Corporation	1	
D	36" x 60"	3'-0"	5'-0"	Andersen Corporation	6	
E	60" x 78"	5'-0"	6'-6"	Andersen Corporation	1	
O	60" x 60"	5'-0"	5'-0"	Andersen Corporation	2	
R	77260 Nantucket 18x9.5 Ovolo Flat Panel	1'-6"	8'-0 1/2"	Simpson Door Company	2	

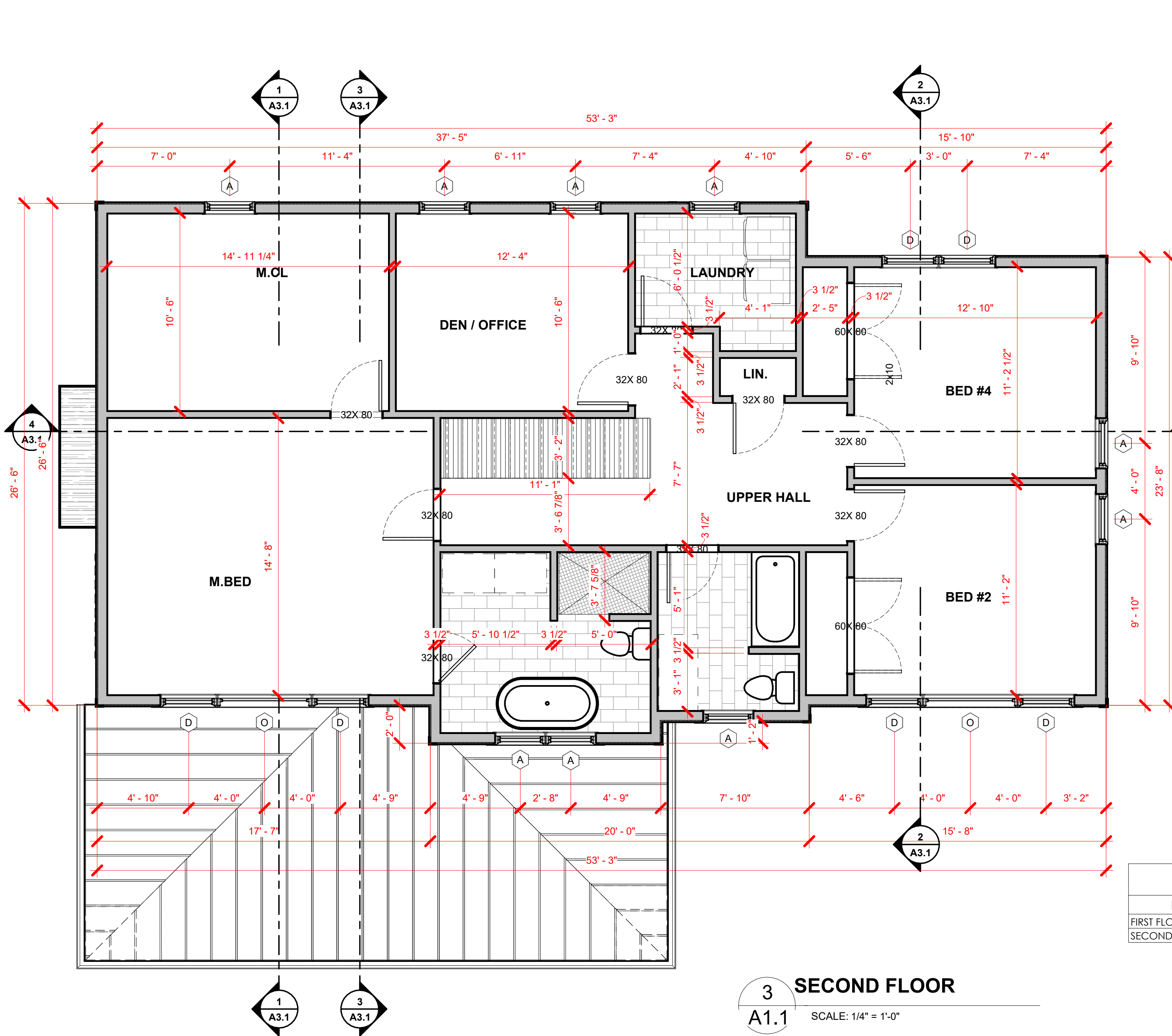


4 ROOF STRUCTURAL
A1.1 SCALE: 1/8" = 1'-0"



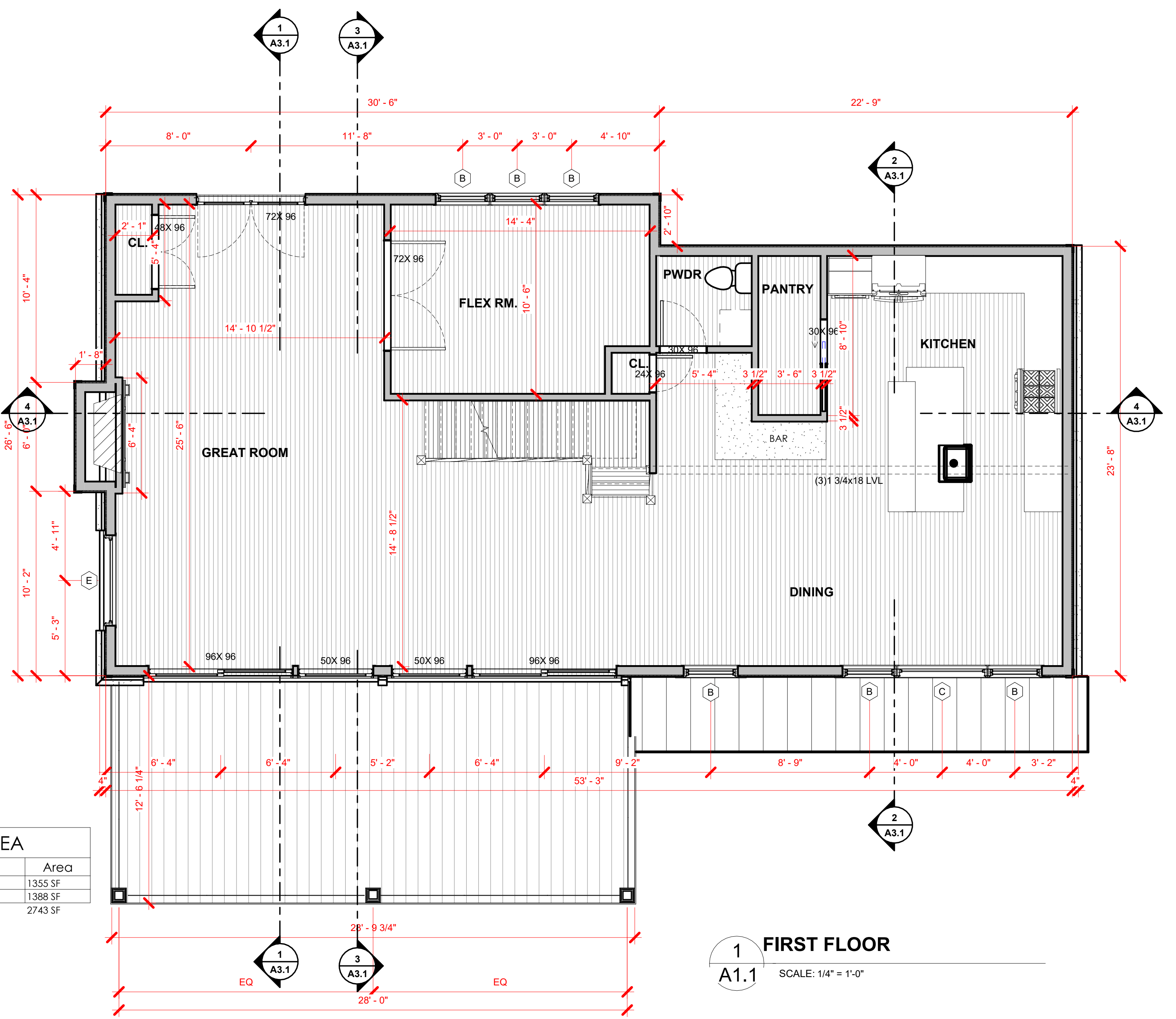
2 SECOND FLOOR STRUCTURAL
A1.1 SCALE: 1/8" = 1'-0"

HEADER SCHEDULE:
HEADERS OVER EXTERIOR OPENINGS SHALL CONFORM TO THE FOLLOWING TABLE UNLESS OTHERWISE NOTED ON ARCHITECTURAL PLANS.
(2) 2x8: UP TO 4'-6" OPENING WIDTH
(2) 2x10: UP TO 5'-9" OPENING WIDTH
(2) 2x12: UP TO 7'-0" OPENING WIDTH
(3) 2x12: UP TO 8'-1" OPENING WIDTH



3 SECOND FLOOR
A1.1 SCALE: 1/4" = 1'-0"

Name	Area
FIRST FLOOR	1355 SF
SECOND FLOOR	1388 SF
TOTAL	2743 SF



1 FIRST FLOOR
A1.1 SCALE: 1/4" = 1'-0"

R905.1 ROOF COVERING APPLICATION:

ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THIS SECTION AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

R905.2.1 SHEATHING REQUIREMENTS:

ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.

R905.2.2 SLOPE:

ASPHALT SHINGLES SHALL ONLY BE USED ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM 2:12 TO 4:12 DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH R905.2.7

R905.2.7.1 ICE PROTECTION:

IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25 F. OR LESS, AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

R905.2.8.2 VALLEYS:

VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LINING OF THE FOLLOWING TYPES SHALL BE PERMITTED:

1. FOR OPEN VALLEY (VALLEY LINING EXPOSED) LINED WITH METAL , THE VALLEY LINING SHALL BE AT LEAST 24 INCHES WIDE AND OF ANY OF THE CORROSION-RESISTANT METALS IN TABLE R905.2.8.2
2. FOR OPEN VALLEYS, VALLEY LINING OF TWO PLYS OF MINERAL SURFACE ROLL ROOFING, COMPLYING WITH ASTM D 249, SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18 INCHES AND THE TOP LAYER A MINIMUM OF 36 INCHES WIDE.
3. FOR CLOSED VALLEYS (VALLEY COVERED WITH SHINGLES) VALLEY LINING OF ONE PLY OF SMOOTH ROOL ROOFING COMPLYING WITH ASTM D 224 TYPE II OR TYPE III AND AT LEAST 36 INCHES WIDE OR VALLEY LINING AS DESCRIBED IN ITEMS 1 AND 2 ABOVE SHALL BE PERMITTED.

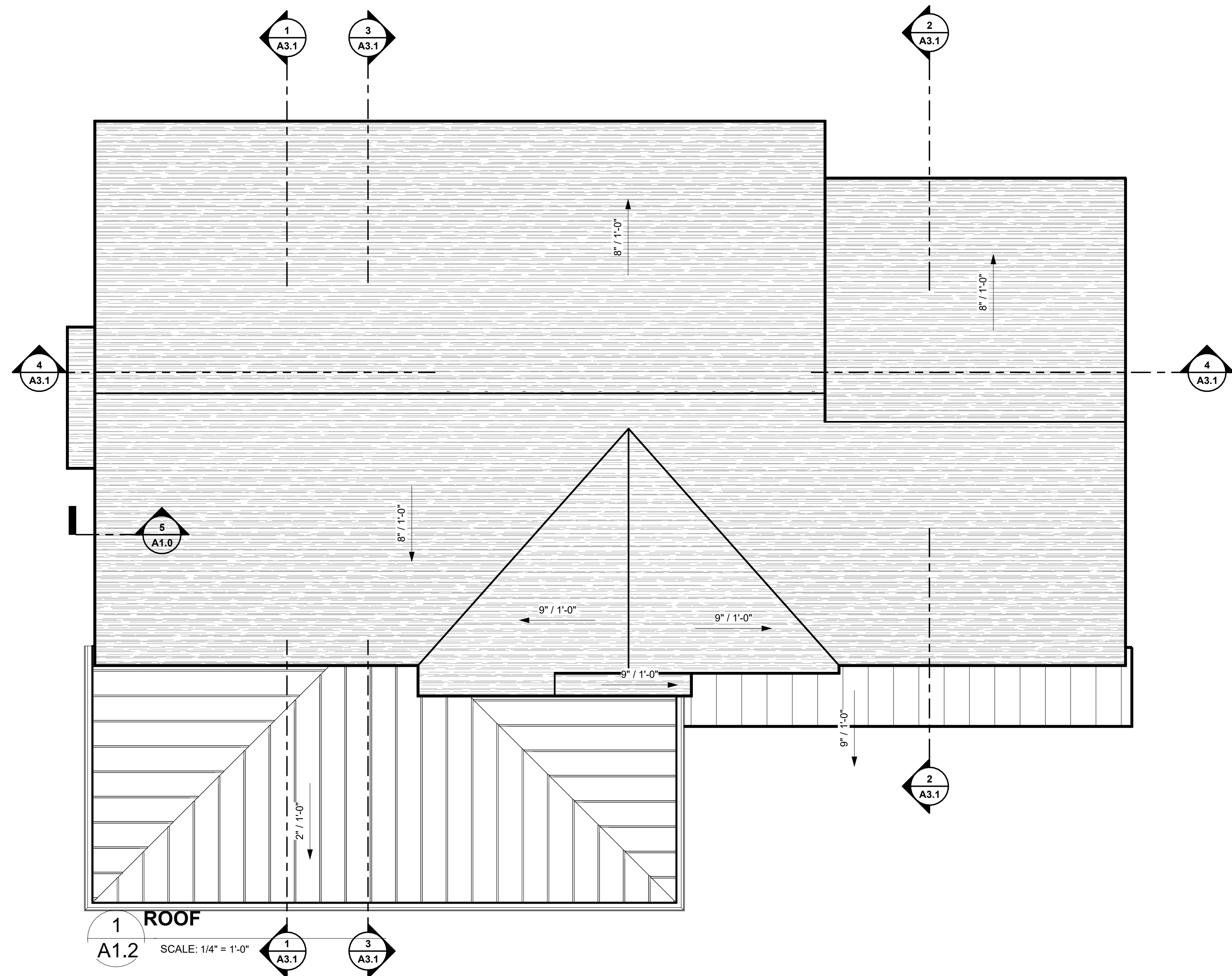
R905.2.8.4 SIDEWALL FLASHING:

FLASHING AGAINST A VERTICAL SIDEWALL SHALL BE BY THE STEP FLASHING METHOD.

R 602.10.2 BRACED WALL PANEL CONSTRUCTION

THE CONSTRUCTION OF BRACED WALL PANELS SHALL BE IN ACCORDANCE WITH ONE OF THE FOLLOWING METHODS.

3. WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16 INCH FOR 16 INCH STUD SPACING AND NOT LESS THAN 3/8 INCH FOR 24 INCH STUD SPACING. WOOD STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 602.3(3).



ROOF VENT CALCULATIONS

- 1/2 IN SOFFIT VENT & 1/2 IN TOP PORTION OF ROOF
- TOTAL AREA / 300 = REQUIRED VENTING AREA
- 2053 SF / 300 = 7 SF
- 7 SF / 2 = 4 SF RIDGE VENTING REQUIRED
- LINEAR FEET OF RIDGE VENTS @ .3 SF VENT'G / LF = 0'
- TOTAL RIDGE VENTING PROVIDED = 32' - 0"LF
- BALANCE PROVIDED IN SOFFIT



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PROJECT NAME



SPEC HOME
JACKSON BLVD.
WHITE LAKE TWP. MI

SHEET TITLE

ROOF PLAN

SHEET DATA

SCALE: 1/4" = 1'-0"
JOB: 2112
ISSUE DATE: 6/1/21

SHEET NUMBER

A1.2



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SHEET TITLE

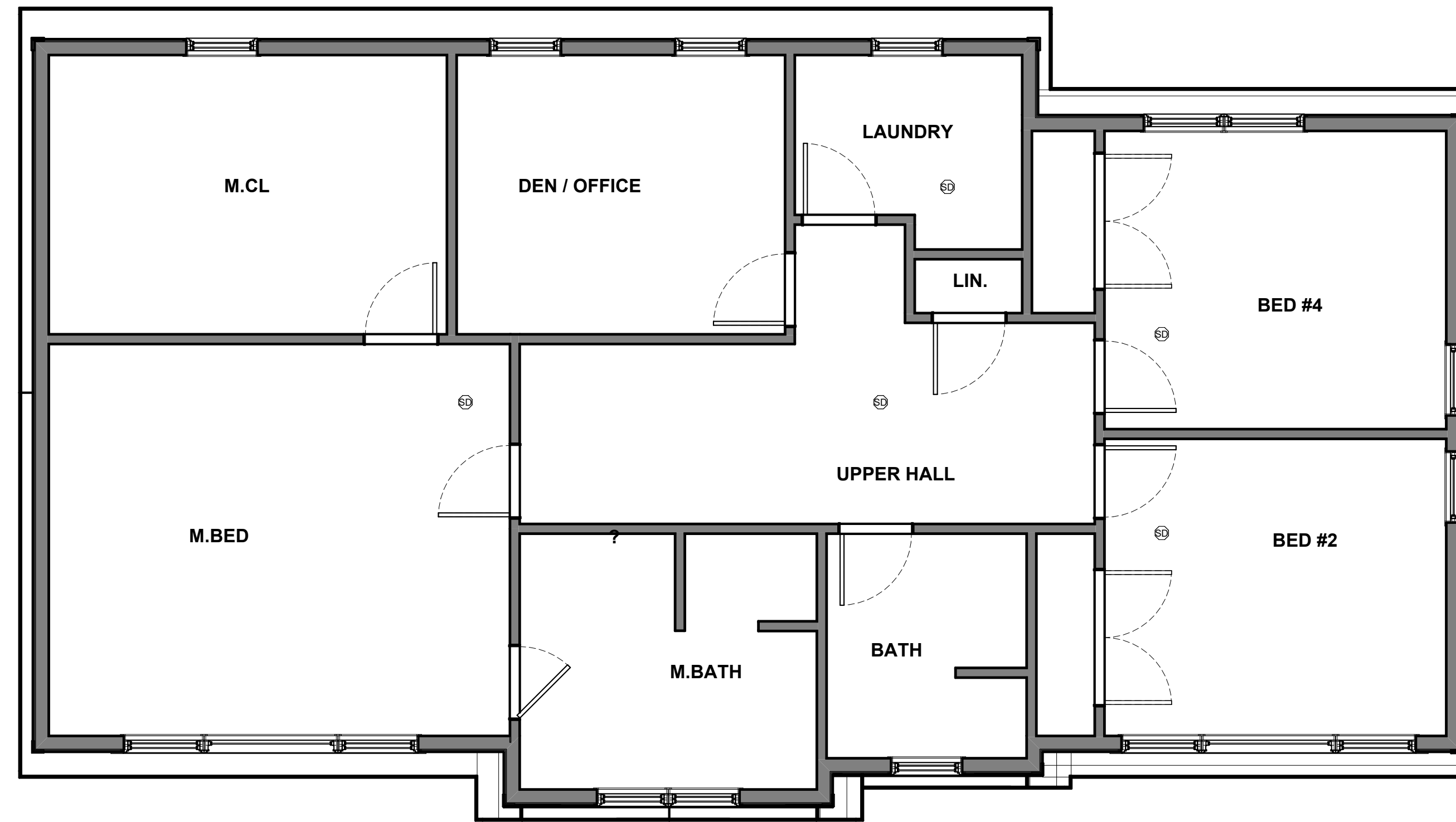
**REFLECTED CEILING
PLANS**

SHEET DATA

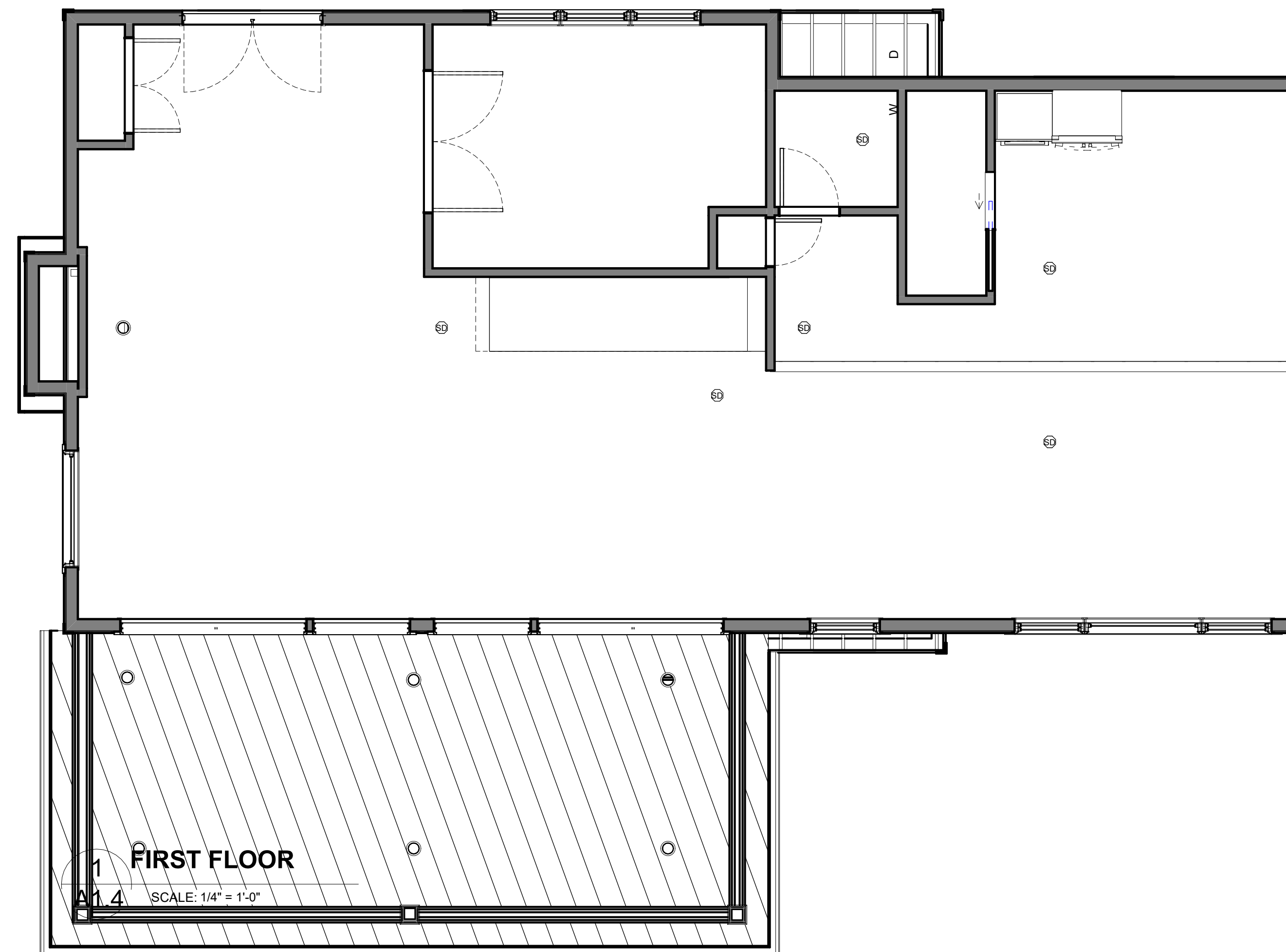
SCALE: 1/4" = 1'-0"
JOB: 2112
ISSUE DATE: 6/1/21

SHEET NUMBER

A1.4



2 SECOND FLOOR
A1.4 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR
A1.4 SCALE: 1/4" = 1'-0"

**SECTION R314
SMOKE ALARMS**

R314.3 SINGLE- AND MULTIPLE-STATION SMOKE ALARMS, SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATION:

1. IN EACH SLEEPING ROOM.
2. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

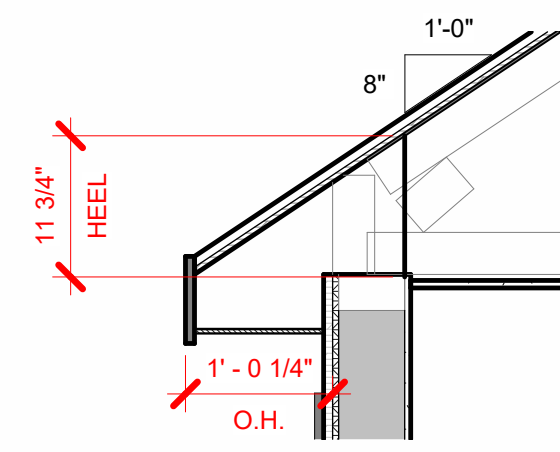
WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOM OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

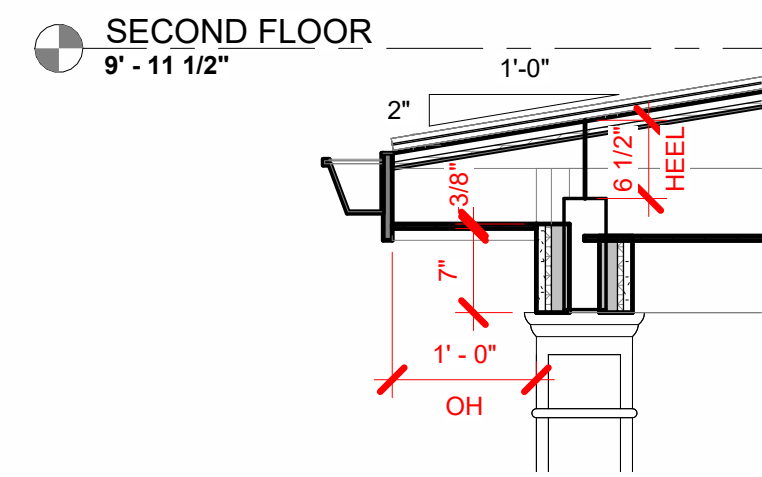
**SECTION R315.4
COMINATION ALARMS.**

R315.4 COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.

Window Schedule						
Mark	Type	Width	Height	Manufacturer	Count	Comments
A	32" x 57"	2' - 8"	4' - 9"	Andersen Corporation	9	
B	36" x 66"	3' - 0"	5' - 6"	Andersen Corporation	6	
C	60" x 66"	5' - 0"	5' - 6"	Andersen Corporation	1	
D	36" x 60"	3' - 0"	5' - 0"	Andersen Corporation	6	
E	60" x 78"	5' - 0"	6' - 6"	Andersen Corporation	1	
O	60" x 60"	5' - 0"	5' - 0"	Andersen Corporation	2	
R	77260 Nantucket 18x96.5 Ovolo Flat Panel	1' - 6"	8' - 0 1/2"	Simpson Door Company	2	



3 SOFFIT DETAIL (TYP.)
A2.1 SCALE: 3/4" = 1'-0"



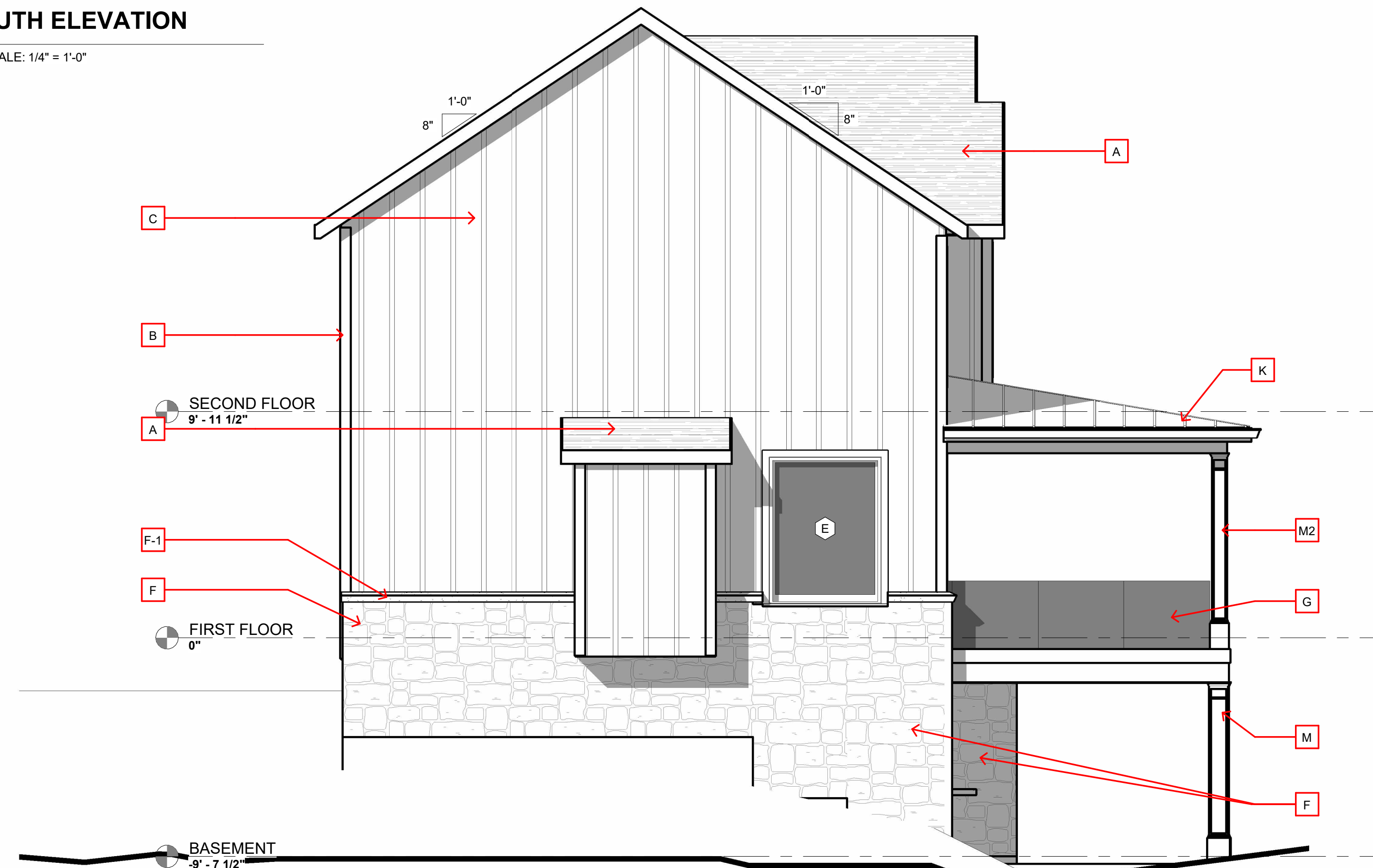
4 SOFFIT @ PORCH
A2.1 SCALE: 3/4" = 1'-0"



1 SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
Mark	Description
A	ASPHALT SHINGLE
B	1X8, FASCIA, AND RAKE BD.
C	LP PANEL 7/16"
D	1X8 CORNER TRIM
E	STANDING SEAM METAL ROOFING
F	CULTURED STONE
F-1	CULTURED STONE CAP STONE
G	Glass Railing
H	ALUMINUM GUTTER
J	1X TRIM
K	STANDING SEAM METAL ROOFING
M	10" EXTERIOR COLUMNS
M2	8" EXTERIOR COLUMNS
S	Cedar Shake Siding

Grand total: 263



2 EAST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



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REVISIONS

NO.	DATE	DESCRIPTION
1	5/11/21	FINAL/MIRROR

PROJECT NAME



SPEC HOME
JACKSON BLVD.
WHITE LAKE TWP. MI

SHEET TITLE

ELEVATIONS

SHEET DATA

SCALE: As indicated
JOB: 2112
ISSUE DATE: 6/1/21

SHEET NUMBER

A2.1



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REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NAME



SPEC HOME
JACKSON BLVD.
WHITE LAKE TWP. MI

SHEET TITLE

ELEVATIONS

SHEET DATA

SCALE: 1/4" = 1'-0"
JOB: 2112
ISSUE DATE: 6/1/21

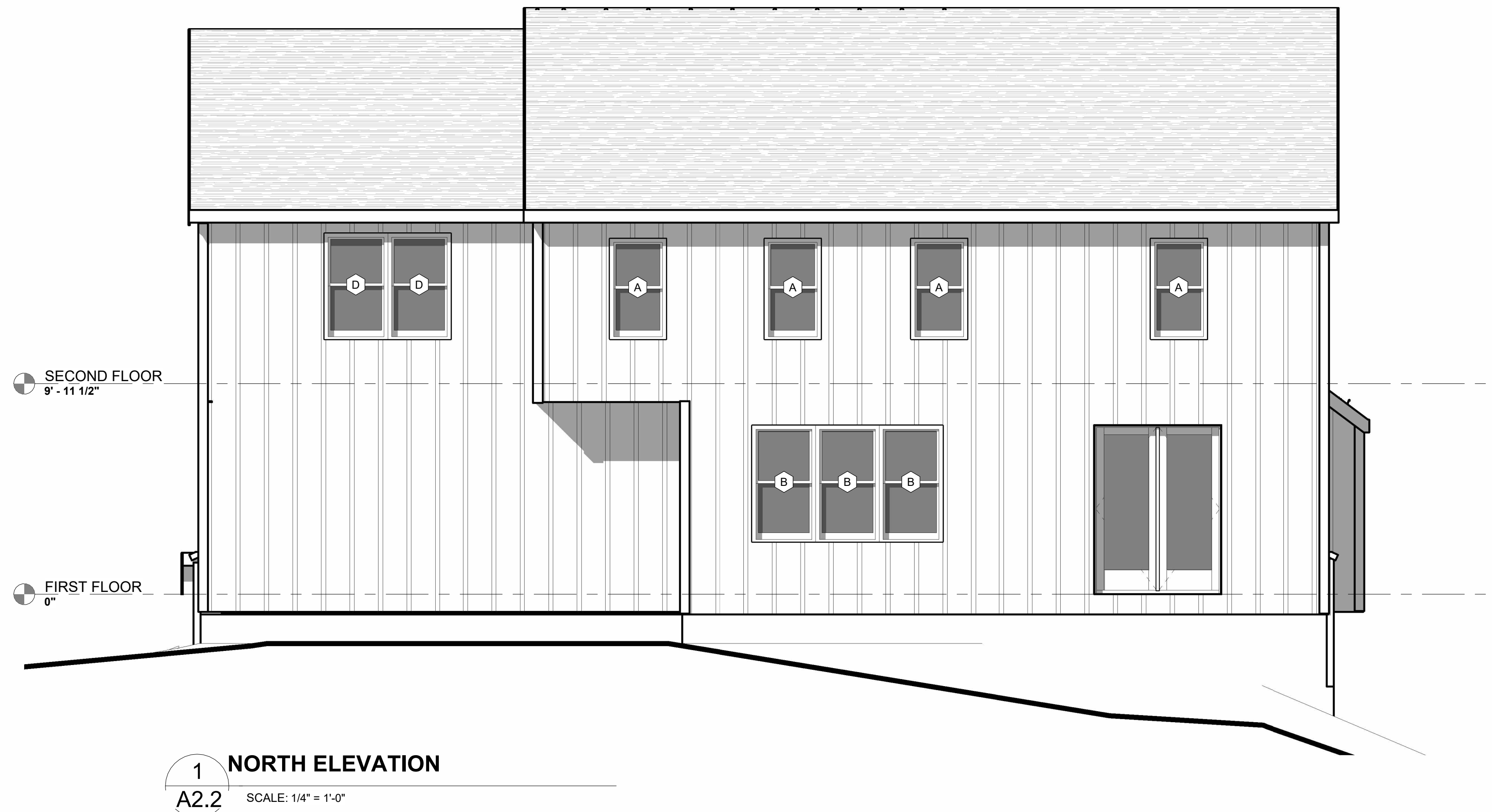
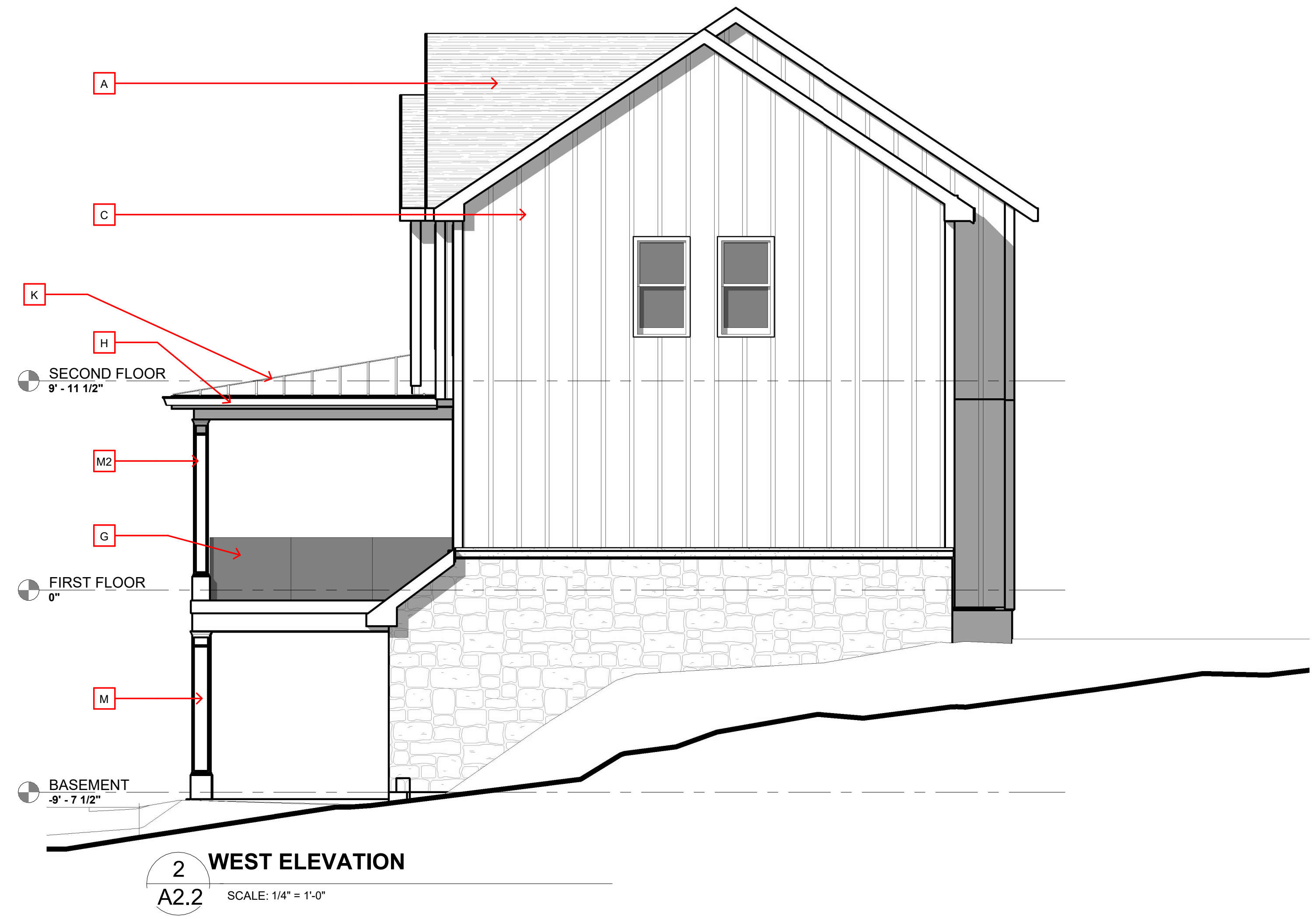
SHEET NUMBER

A2.2

Mark	Type	Width	Height	Manufacturer	Count	Comments
A	32" x 57"	2' - 8"	4' - 9"	Andersen Corporation	9	
B	34" x 66"	3' - 0"	5' - 6"	Andersen Corporation	6	
C	60" x 66"	5' - 0"	5' - 6"	Andersen Corporation	1	
D	34" x 60"	3' - 0"	5' - 0"	Andersen Corporation	6	
E	60" x 78"	5' - 0"	6' - 6"	Andersen Corporation	1	
O	60" x 60"	5' - 0"	5' - 0"	Andersen Corporation	2	
R	77260 Nantucket 18x96.5 Ovolo Flat Panel	1' - 6"	8' - 0 1/2"	Simpson Door Company	2	

Mark	Description
A	ASPHALT SHINGLE
B	1X8, FASCIA, AND RAKE BD.
C	LP PANEL 7/16"
D	1X8 CORNER TRIM
E	STANDING SEAM METAL ROOFING
F	CULTURED STONE
F-1	CULTURED STONE CAP STONE
G	Glass Railing
H	ALUMINUM GUTTER
J	1X TRIM
K	STANDING SEAM METAL ROOFING
M	10" EXTERIOR COLUMNS
M2	8" EXTERIOR COLUMNS
S	Cedar Shake Siding

Grand total: 263





6523 Tamarack Dr.
Troy, MI. 48098
248-854-0545

ballewdesigns@gmail.com
www.ballewdesignslc.com

REVISIONS

NO.	DATE	DESCRIPTION
1	5/11/21	FINAL/MIRROR

PROJECT NAME



SPEC HOME
JACKSON BLVD.
WHITE LAKE TWP. MI

SHEET TITLE

SECTIONS

SHEET DATA

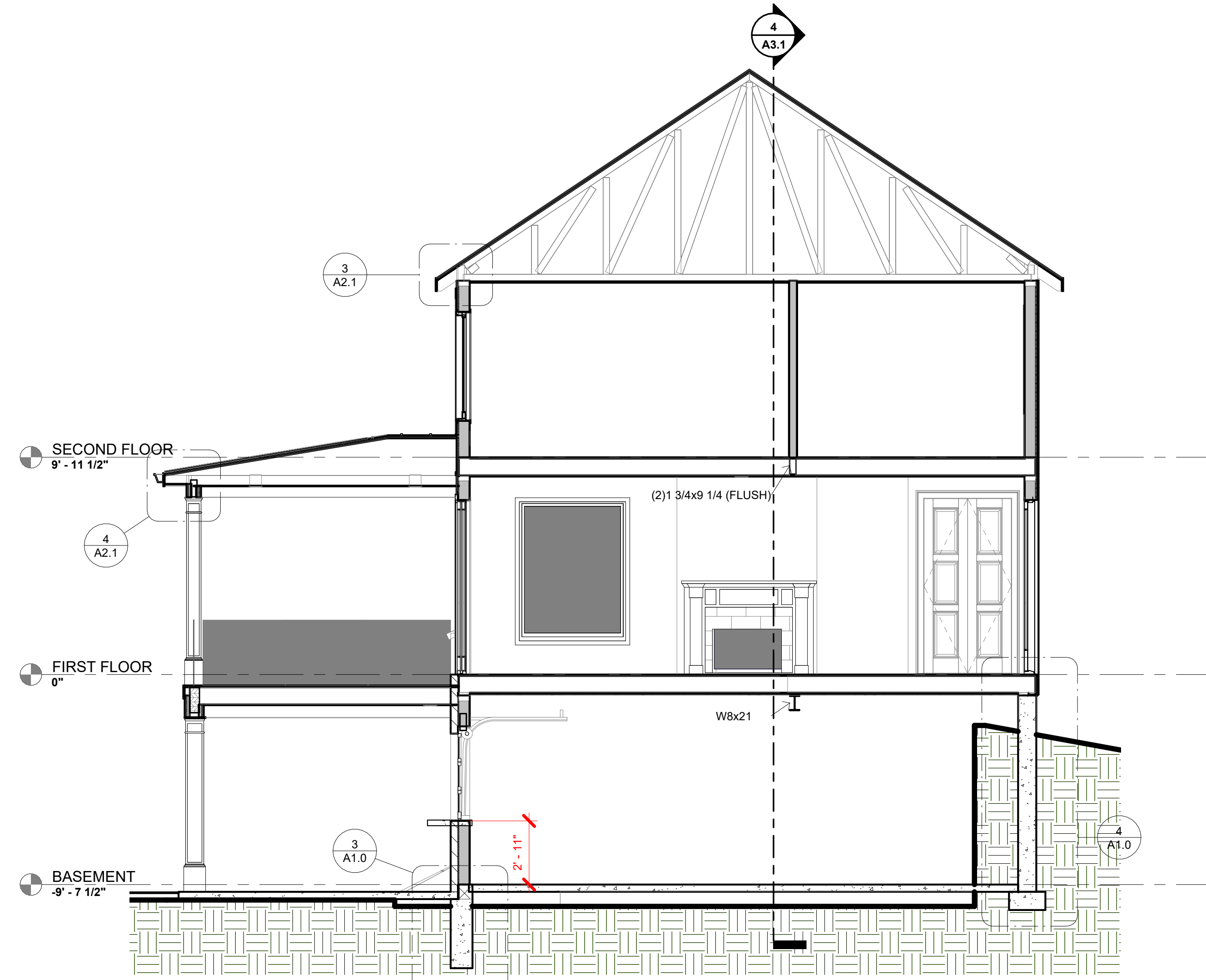
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JOB: 2112

ISSUE DATE: 6/1/21

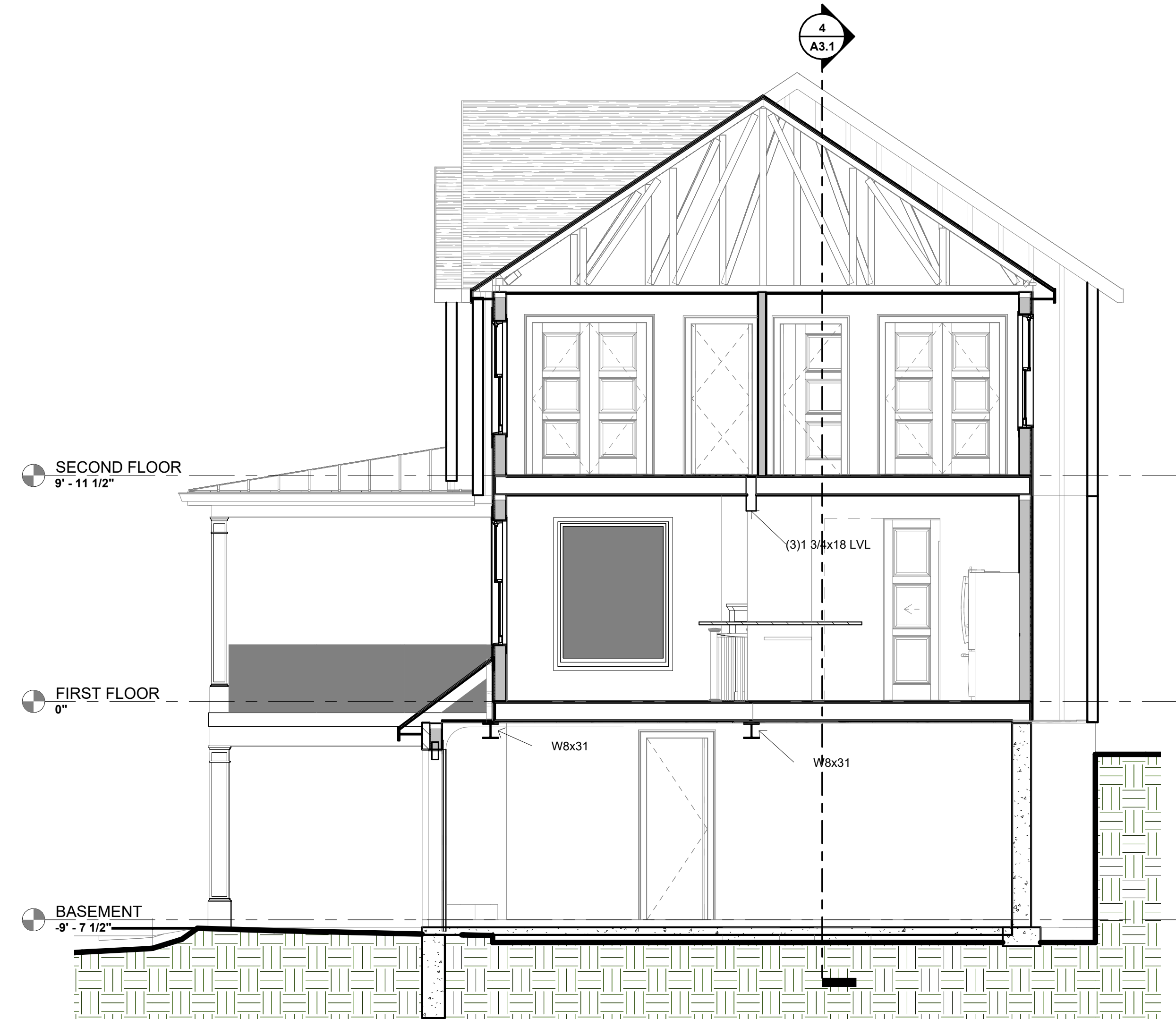
SHEET NUMBER

A3.1



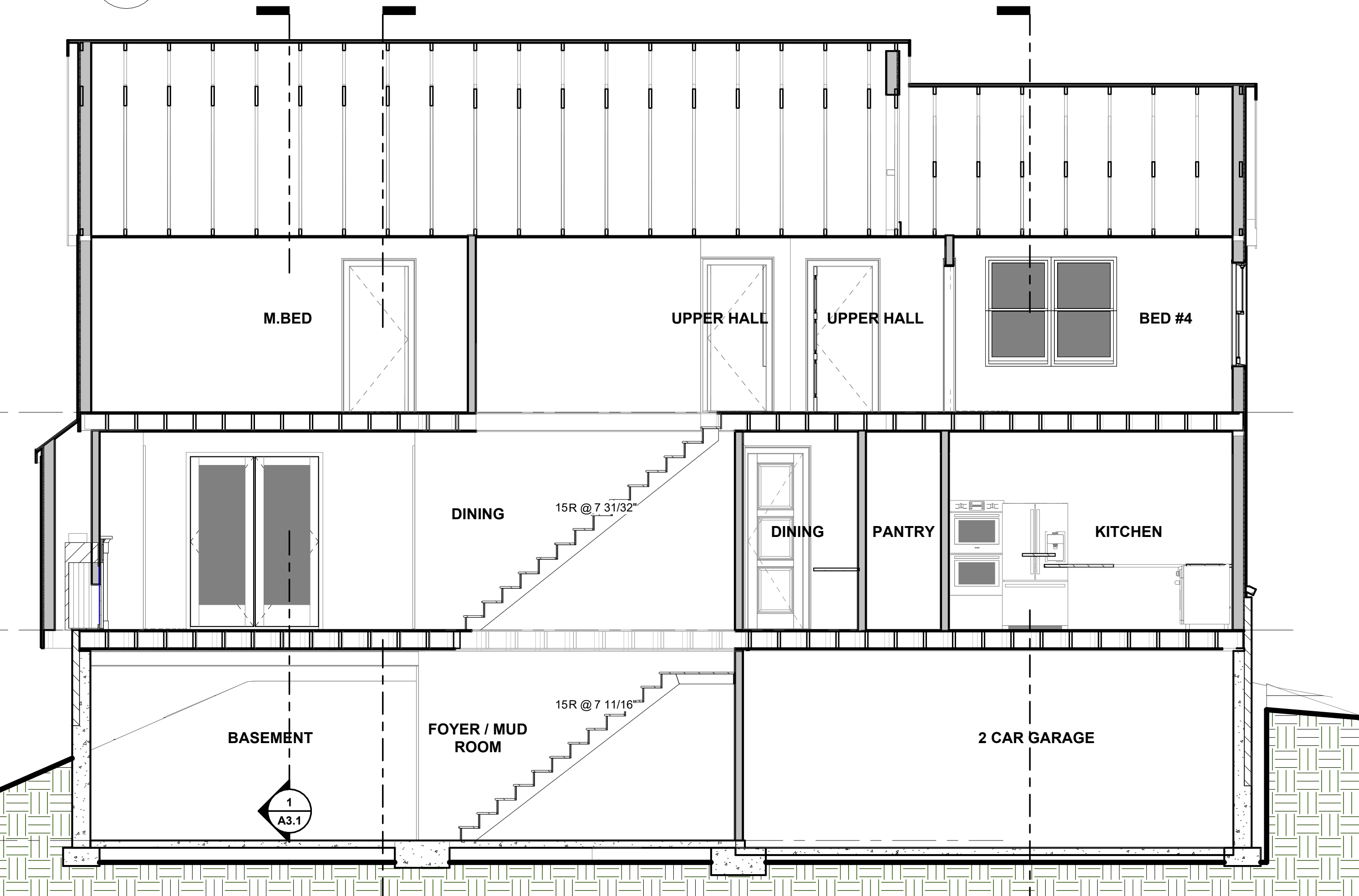
1 BUILDING SECTION

A3.1 SCALE: 1/4" = 1'-0"



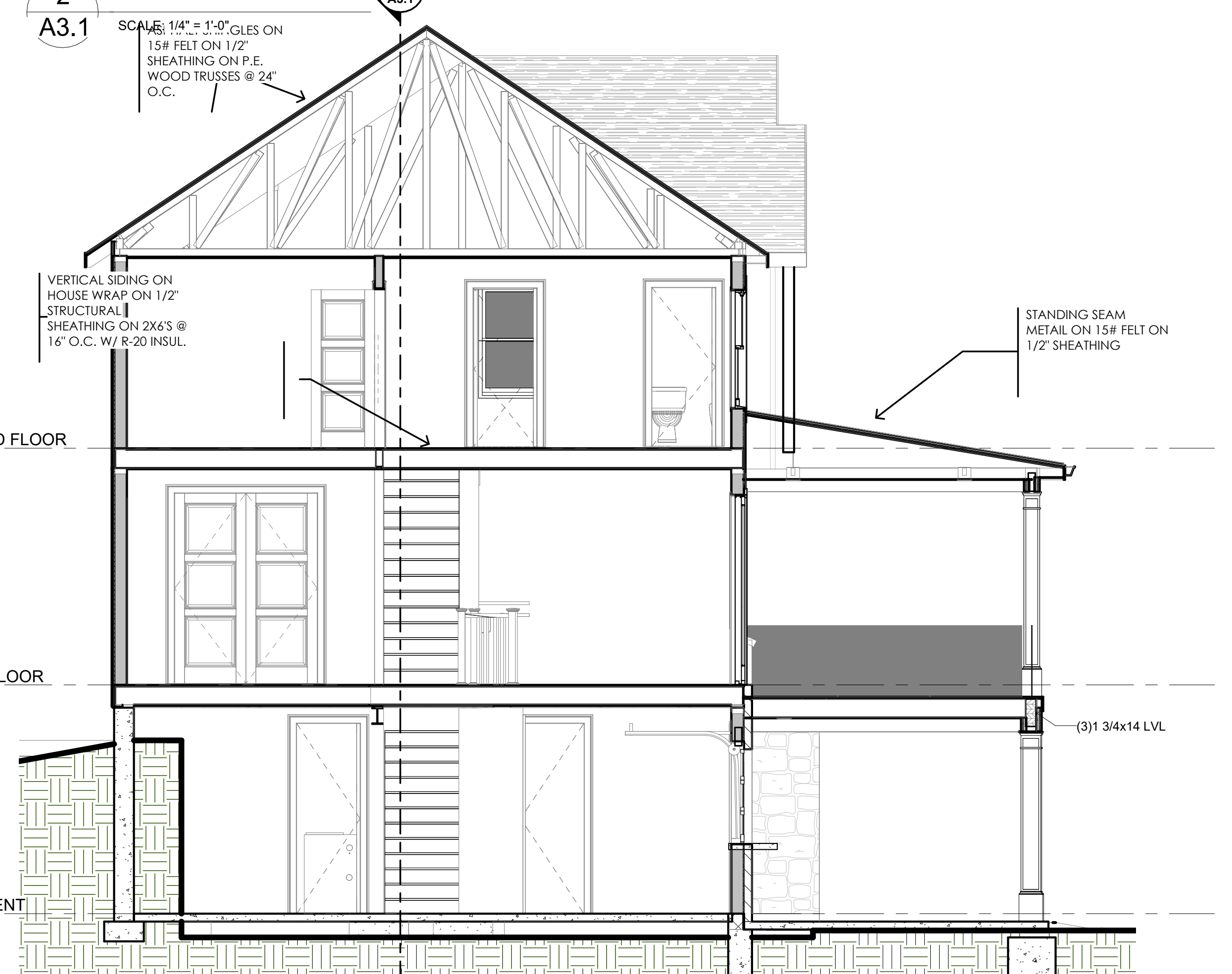
2 BUILDING SECTION

A3.1 SCALE: 1/4" = 1'-0"
GLES ON
15# FELT ON 1/2"
SHEATHING ON P.E.
WOOD TRUSSES @ 24"
O.C.



4 BUILDING SECTION

A3.1 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION

A3.1 SCALE: 1/4" = 1'-0"

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

June 17, 2021

Mario Giannandrea
Stone Hollow Properties
1100 Corporate Office Dr.
Milford, MI 48381

RE: Proposed Residential Structure at 4355 Jackson (12-07-181-004)

Based on the submitted plans, the proposed residential does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum lot width of 80 ft, minimum lot size of 12,000 sf, a minimum front yard setback of 30 ft, maximum building height of 25 ft and maximum number of 2 stories.

The proposed structure would be erected upon a 75 ft wide non-conforming lot with an area, excluding the right of way, of 9,105 sf. The proposed front yard setback is 21.5 ft from the right of way line. Furthermore, based on the ordinance definition of *basement* and *story*, the proposed structure would be considered 3 stories with a building height of 33.5 ft from grade.

Approval of the building plans would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the July 22nd Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than June 24th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

A handwritten signature in black ink, appearing to read "Nick Spencer", written over a horizontal line.

Nick Spencer, Building Official
White Lake Township

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: July 22, 2021

Agenda item: 6b

Appeal Date: July 22, 2021

Applicant: Valerie Thompson

Address: 9417 Cedar Island Road
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Location: 9417 Cedar Island Road
White Lake, MI 48386

Property Description

The approximately 0.398-acre (17,328 square feet) parcel identified as 9417 Cedar Island Road is located on Round Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,612 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

Applicant’s Proposal

Valerie Thompson, the applicant, is proposing to construct an addition to the house.

Planner’s Report

The proposed addition is 301 square feet in size and located 24.9 feet from the front lot line. It would connect the existing 666.6 square foot three-car detached garage to the house. The garage is nonconforming being located 10 feet from the front property line. In the R1-D zoning district the minimum front yard setback requirement is 30 feet.

The requested variance is listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Front yard setback	30 feet	5.1 feet (house) 20 feet (garage)	24.9 feet (house) 10 feet (garage)

Zoning Board of Appeals Options:

Approval: I move to approve the variance requested by Valerie Thompson from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-35-254-015, identified as 9417 Cedar Island Road, in order to construct an addition that would encroach 5.1 feet into the required front yard setback, with the existing garage encroaching 20 feet into the required front yard. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- The reduced front yard shall only be applicable to the addition and existing garage as shown on the submitted sketch of survey dated June 21, 2021.

Denial: I move to deny the variance requested by Valerie Thompson for Parcel Number 12-35-254-015, identified as 9417 Cedar Island Road, due to the following reason(s):

Table: I move to table the variance request of Valerie Thompson for Parcel Number 12-35-254-015, identified as 9417 Cedar Island Road, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated June 23, 2021.
2. Applicant's written statement.
3. Sketch of survey dated June 21, 2021.
4. Addition plans.
5. Letter of denial from the Building Department dated June 3, 2021.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.

B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

C. Not self created: The applicants problem is not self created.

D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).

E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.

F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:

i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;

ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION**

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Valerie Thompson PHONE: 248-421-8121
ADDRESS: 9417 Cedar Island Rd, White Lake, MI 48386
APPLICANT'S EMAIL ADDRESS: Vthompson9417@att.net
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 9417 Cedar Island Rd PARCEL # 12-35-254-015
CURRENT ZONING: R1-D PARCEL SIZE: 17,328 sq ft

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Article 3.1.6 - Frontyard setback, maximum lot coverage
VALUE OF IMPROVEMENT: \$ 50,000 SEV OF EXISTING STRUCTURE: \$ ~~172,500~~ 102,570

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)
Please see attached sheet

APPLICATION FEE: \$385 (CALCULATED BY THE PLANNING DEPARTMENT)
APPLICANT'S SIGNATURE: Valerie Marie Thompson DATE: 6/23/21

I am requesting a variance to article 3.1.6 of the White Lake township clear zoning ordinance for minimum front yard setback of 30 feet and maximum lot coverage of 20% in order to complete a renovation of my home that includes moving the front wall of my home out 5 feet and attaching my home to my current detached garage, allowing me to move my laundry room from the basement to the upper level of my home. The total square footage that will be added to my home will be 301 square feet.

My current kitchen is a "galley" kitchen and I only have 36 inches in width, which requires me to climb over the dishwasher door when it is open to get to the other side of the kitchen when unloading and putting things away. It also requires me to access my oven from the side when the door is open. As I am getting older and I plan on being in this home until I can no longer care for myself, this situation becomes a hardship with age. By increasing the size of my kitchen by 5 feet I will be able to access these things from the front and not have to climb over open appliance doors to reach the other side of my kitchen.

I would also like to attach my garage to my home so that my laundry room can be moved from the basement to the upper level and, also so I do not have to shovel my way down 5 steps in the winter to access my garage. My home was built in 1939 and the basement steps are quite narrow and I am unable to even carry a laundry basket down those steps at this time. As I get older, this will become more of a hardship and quite frankly a somewhat dangerous situation for me. Having to shovel my way down 5 steps in order to get to my garage in the winter is also a hardship that will only get more difficult with age.

My current garage does not meet the front setback requirement of 30 feet and the attachment to the garage will not meet the front setback requirement due to its placement. The current garage does meet the side yard setback. I did not build the garage, it was here when I purchased the home. A reduced front setback appears to be in keeping with the homes on both sides of me, as well as the majority of the homes along Cedar Island Rd on my side of the street.

I am therefore requesting a variance to the front setback requirement in order to complete the requested modifications to my home.

I am also requesting a variance to the 20% maximum lot coverage. I am being required by the township to include the decks that are on my property as part of the computation of the coverage. This I do not understand as the ordinance definition of lot coverage is 'Part or percent of lot occupied by buildings or structures including accessory buildings or structures' and structures are defined as 'Anything constructed or erected which requires permanent location on the ground or attachment to something having such location'. The current decks are not attached to my home in any way. They are not permanent as is evidenced by the fact that I have removed and reduced the size of the decks by 900 square feet since I purchased the home. I did not build the decks, and have only removed and reduced them in size since I moved into the home. In counting the decks, my property coverage will be 22.8% with the proposed addition and modifications. In not counting the decks my property coverage is only 15.6%, well below the maximum allowed coverage. It is also my understanding that if I was tied to the sanitary sewer system my allowed lot coverage would be 30% as I would not need the extra 10% to "rework" my septic field if the system fails. When my current septic field fails I will be required by the township to tie in to the sewer system, I will not be allowed to 'rework' my field, so I question why I need to keep the extra 10% of the property for that purpose.

Given the current stated requirements of the township regarding lot coverage I am requesting a variance of the maximum 20% requirement and would like to use an additional 2.8% of my lot for the modifications to my home. Again this appears to be in keeping with the homes on both sides of me as well as along Cedar Island Rd on my side of the street.

I am therefore requesting variance to the front yard setback of 30 feet to be reduced 24.9 feet and a variance to the property coverage of maximum 20% to be increased to 22.8%.

SKETCH OF SURVEY

Prepared For: VAL THOMPSON

Legal Description:

Lots 12, 13, and 14, Block 4, ROUND LAKE OVERLOOK, a subdivision of part of the W 1/4, S 1/2, NE 1/4 of Section 35, T. 3 N., R. 8 E., White Lake Township, Oakland County, Michigan as recorded in Oakland County Records. PARCEL ID:12-35-254-015

ZONING:

PROPERTY IS ZONED: R1-D
(SINGLE FAMILY RESIDENTIAL)

SETBACKS:

FRONT: = 30 feet
SIDES: = 10 feet MIN./20 feet TOTAL
REAR: = 30 feet

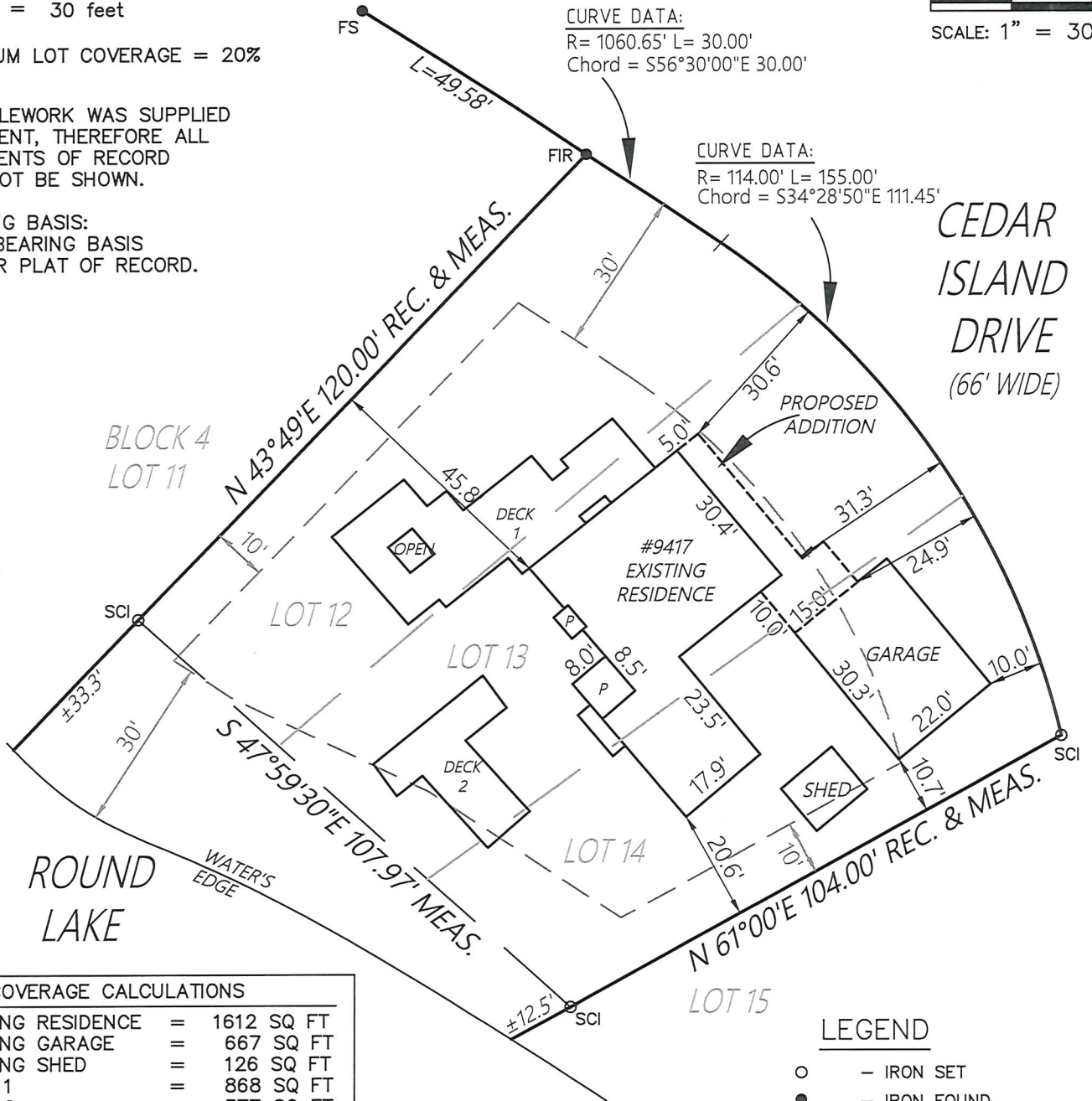
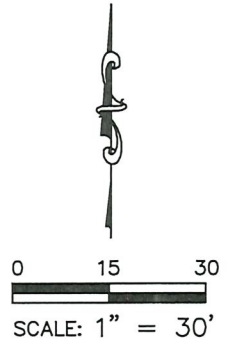
MAXIMUM LOT COVERAGE = 20%

NOTE:

NO TITLEWORK WAS SUPPLIED BY CLIENT, THEREFORE ALL EASEMENTS OF RECORD MAY NOT BE SHOWN.

BEARING BASIS:

HELD BEARING BASIS AS PER PLAT OF RECORD.



LOT COVERAGE CALCULATIONS	
EXISTING RESIDENCE	= 1612 SQ FT
EXISTING GARAGE	= 667 SQ FT
EXISTING SHED	= 126 SQ FT
DECK 1	= 868 SQ FT
DECK 2	= 377 SQ FT
PROPOSED ADDITION	= 301 SQ FT
<hr/>	
TOTAL WITH ADDITON	= 3951 SQ FT
<hr/>	
LOT SIZE	= 17,328 SQ FT
20% OF LOT	= 3466 SQ FT
TOTAL LOT COVERAGE WITH ADDITION	= 22.8%

LEGEND	
○	- IRON SET
●	- IRON FOUND
⊙	- FOUND CONC MONUMENT
MEAS.	- MEASURED
REC.	- RECORDED
FCI	- FOUND CAPPED IRON
FIR	- FOUND IRON ROD
SCI	- SET CAPPED IRON
FS	- FOUND SPIKE

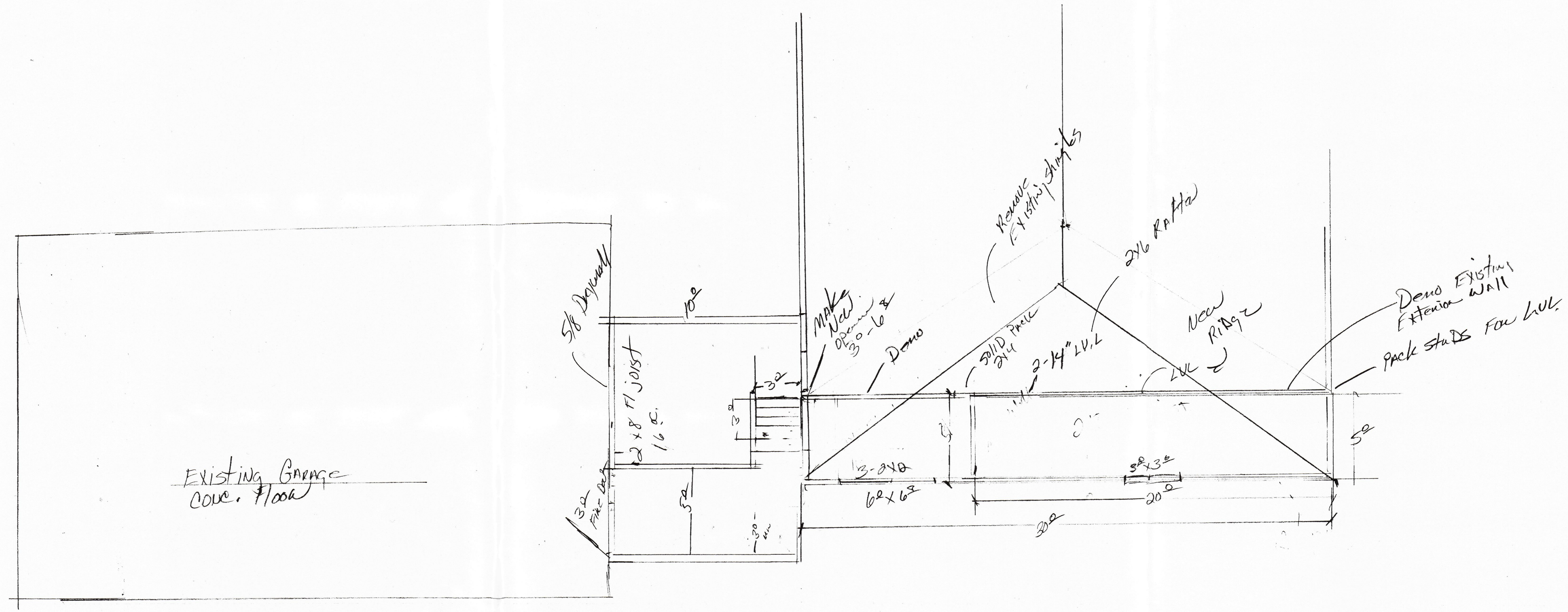
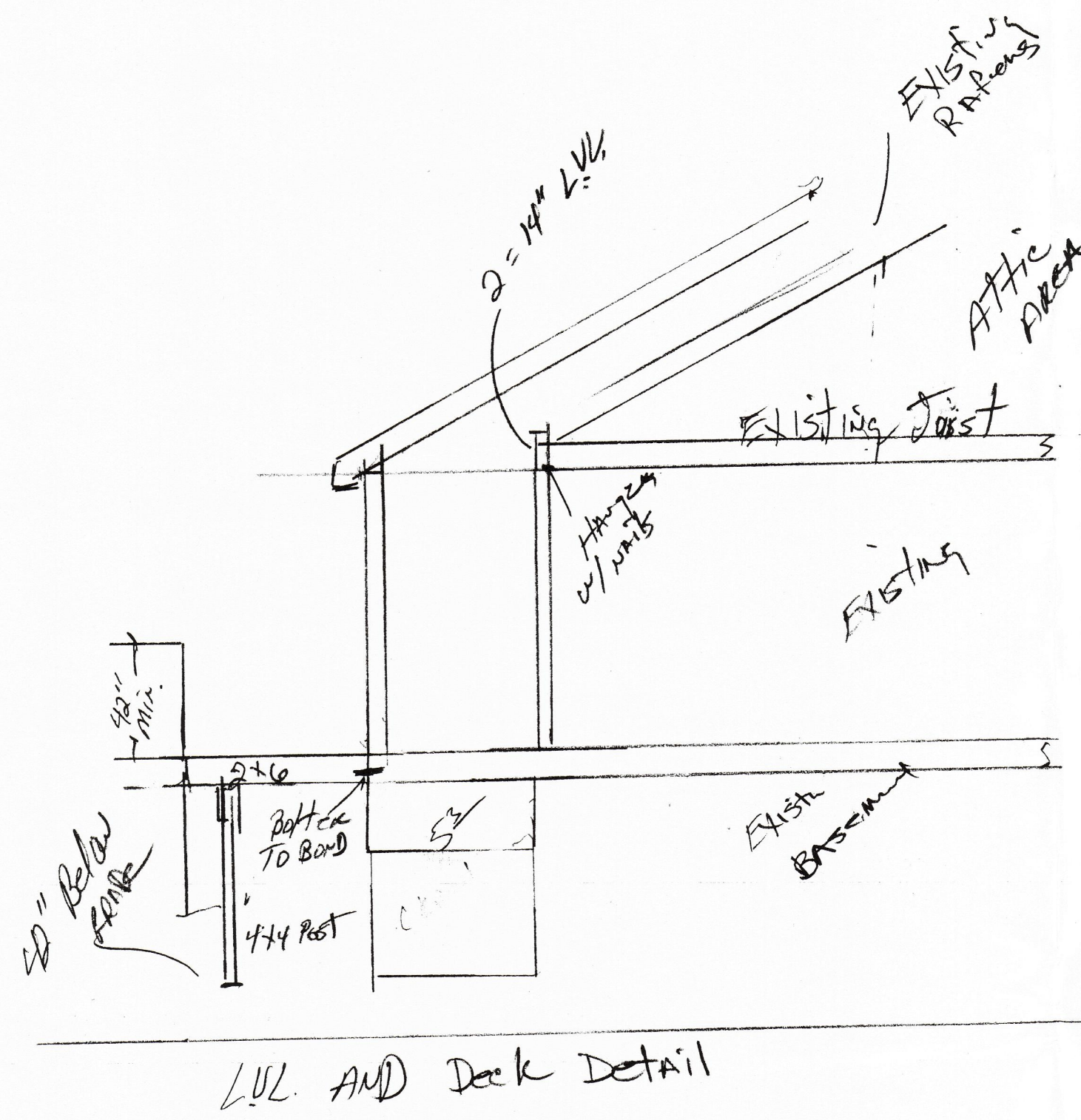
I hereby certify only to the parties hereon, that we have surveyed, at the direction of said parties, the above described lot, and that we have found or set as noted hereon, permanent markers at the exterior corners of said lot and that all visible encroachments of a permanent nature upon said lot, are as shown on this survey. Said lot subject to all easements and restrictions of record.

KAROL L. GROVE
 LICENSED PROFESSIONAL SURVEYOR #39075

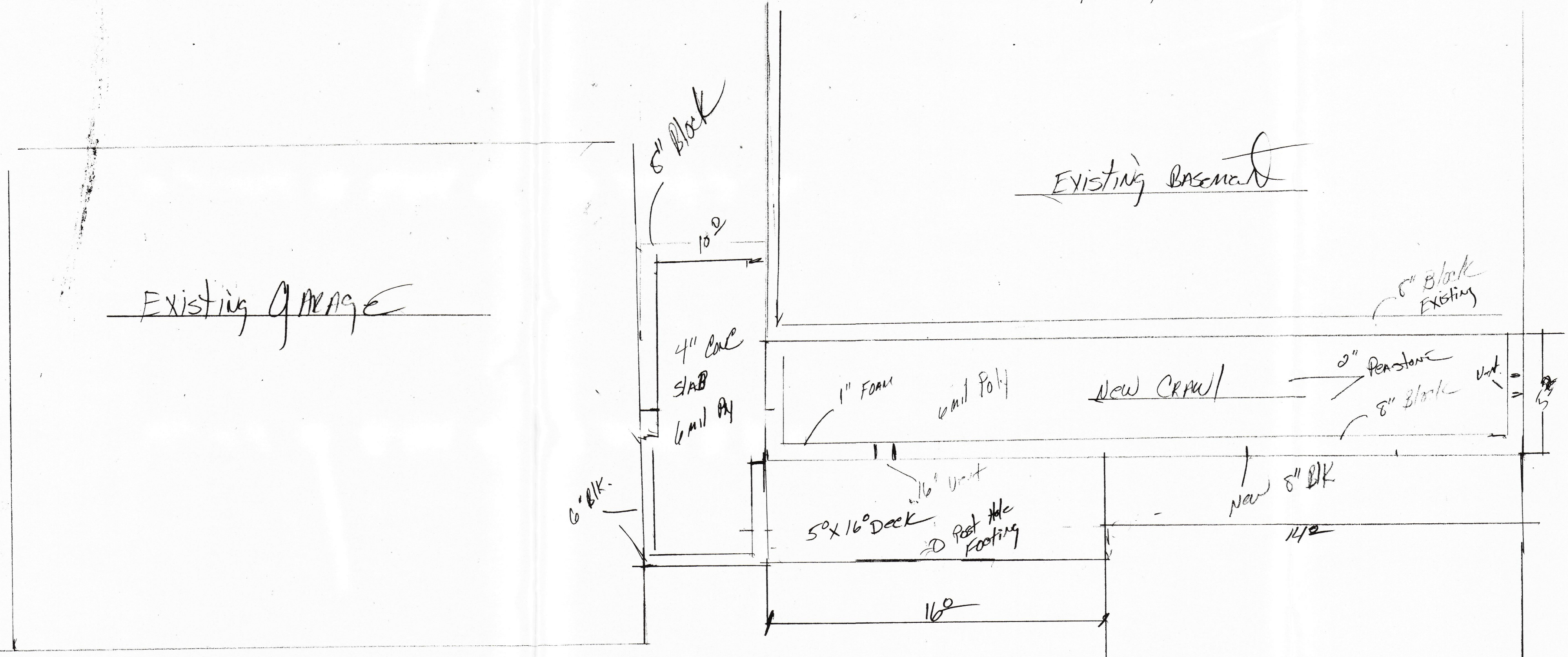
11590 HIGHLAND ROAD, SUITE #100
HARTLAND, MICHIGAN, 48353
PHONE: 810-207-8050

ALPINE Land Surveying, Inc.

FIELD:	KG	DATE:	06-21-2021
DRAWN:	DJS	JOB NO:	21-5499
CHECKED:	KG	SHEET:	1 OF 1
REVISED:			



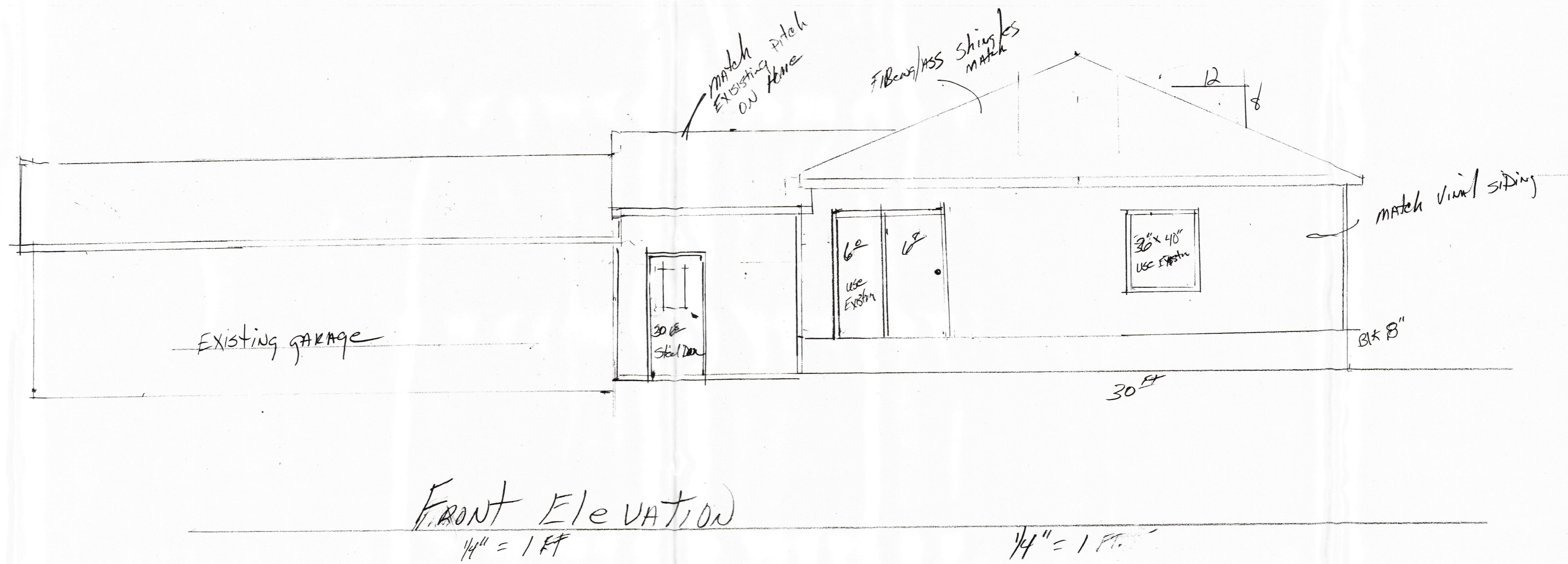
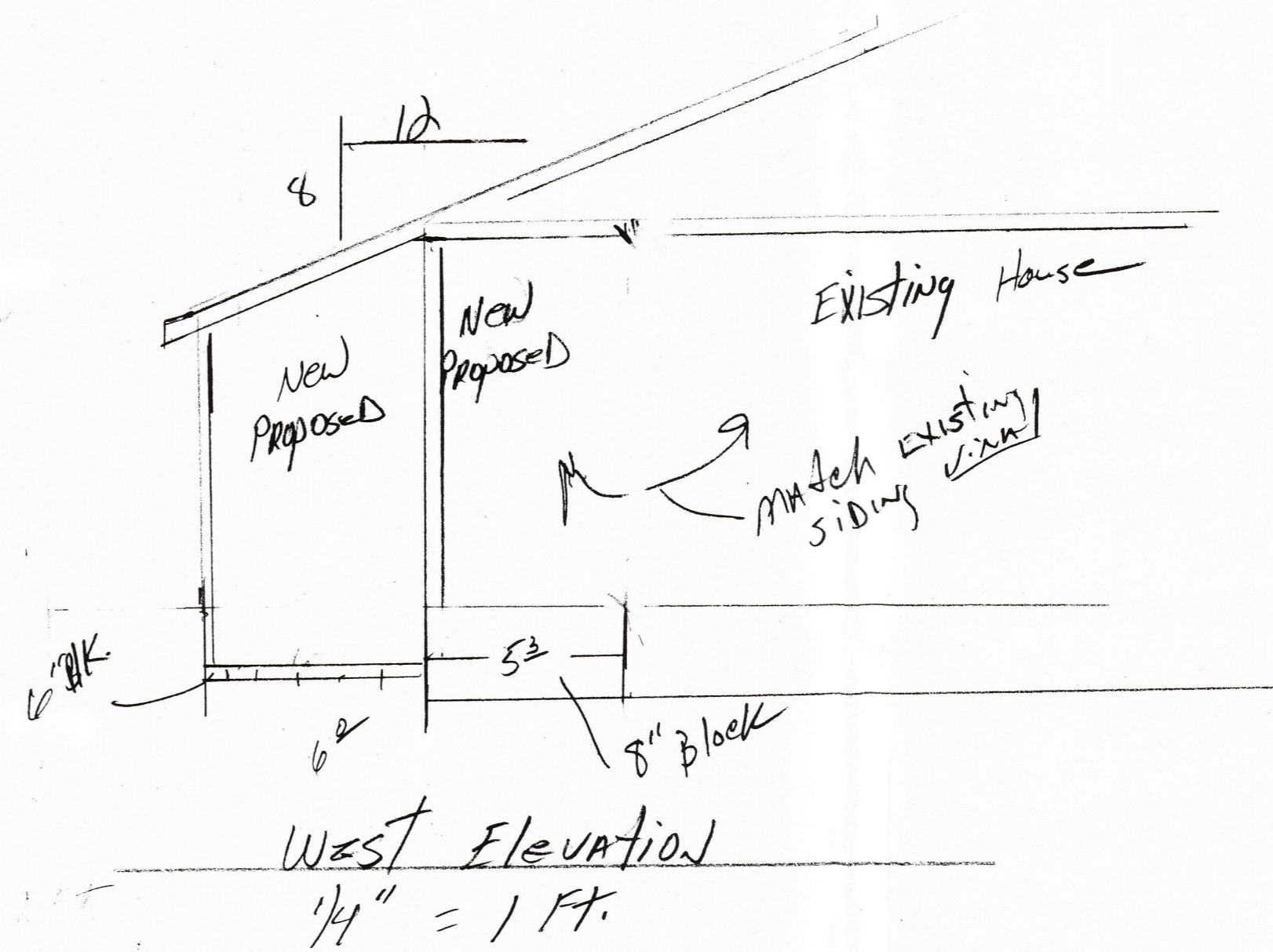
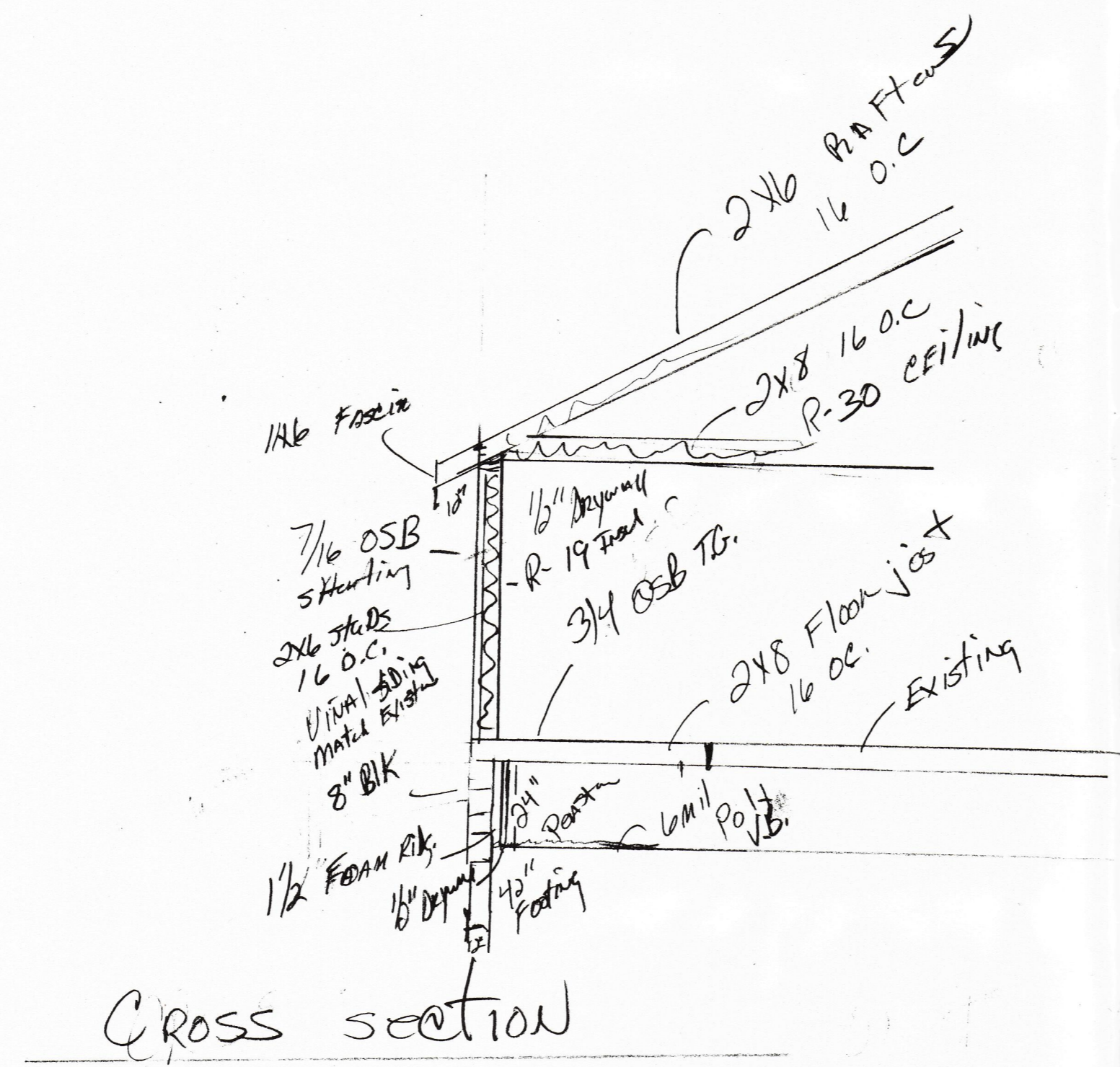
FIRST FLOOR PLAN
1/4" = 1 FT.



FOUNDATION PLAN
1/4" = 1 FOOT

RECEIVED
MAY 28 2021
BUILDING DEPARTMENT

9117 Cedar Island
VA Thompson
248-421-8121
248-787-4995



9417 CEDAR ISLAND RD.
VAL. THOMPSON 818 401-8121
248-787-7995
ADDITION

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

June 3, 2021

Valerie Thompson
9417 Cedar Island Rd
White Lake, MI 48386

RE: Proposed Addition

Based on the submitted plans, the proposed residential addition does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft each side, minimum front yard setback of 30 ft, and maximum lot coverage of 20%.

The existing detached garage and home are legal non-conforming, with the garage having approximately an 8 ft side yard setback on the east side, and approximately a 15 ft side yard setback on the north side. The proposed laundry room would combine the structures making the existing garage setbacks the effective setback for the structure as a whole. Furthermore, based on an aerial view of the property, all structures including decks, appear to result in a lot coverage that exceeds 20%.

Approval of the building plans would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the July 22nd Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than June 24th at 4:30 PM. ***A certified site survey will be required by the ZBA and will need to be submitted at the time of application. The survey should include all dimensions to the existing and proposed structures as well as lot coverage.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township